

CITY OF CRAIG
COUNCIL AGENDA
April 17, 2014
COUNCIL CHAMBERS 7:00 P.M

ROLL CALL

Mayor Dennis Watson, Greg Head, Joni Kuntz, Jim See, Don Pierce, Mike Douville and Jan Storbakken

CONSENT AGENDA

Items listed below will be enacted by one motion. If separate discussion is desired on an item, that item may be removed and placed on the regular meeting agenda.

- City Council Minutes of March 20, 2014

HEARING FROM THE PUBLIC

- Open for public comment
- Resolution -14-09, McCallum Outfall Easement

READING OF CORRESPONDENCE

- POW Sea Otter Conference
- APCM March Report
- Public Response for Pool Renovations and Improvements

CONSIDERATION OF RESOLUTIONS AND ORDINANCES

- Resolution -14-09, McCallum Outfall Easement

UNFINISHED BUSINESS

1. Ford Property
2. Craig Firehall Design
3. Craig Pool Inspection, Engineering and Design Services – Award of Contract

NEW BUSINESS

ADJOURNMENT

CITY OF CRAIG
COUNCIL MEETING
THURSDAY March 20, 2014

ROLL CALL

Mayor Dennis Watson called the meeting to order at 7:00 p.m. and the roll was taken. Present were, Don Pierce, Mike Douville, Jim See and Greg Head. Absent were Jan Storbakken and Joni Kuntz,

Staff present: Jon Bolling, City Administrator; Joyce Mason, Treasurer; Nicole Robison, Aquatic Manager; Kassi Bateman, City Clerk; Brian Templin, City Planner; Daniel Nelson, Harbormaster; Ron Macintosh, Public Works Director; Victoria Merritt, Parks and Recreation; Otis Gibbons, Parks and Public Facilities

Audience present: Taylor Robison

CONSENT AGENDA

The consent agenda was presented, it contained:

- City Council Minutes of February 06, 2014

PIERCE/HEAD

moved to approve the consent agenda as written.

MOTION CARRIED

HEARING FROM THE PUBLIC

Jim See mentioned that the hatchery is going to request for permit alteration, and would like to have a resolution of support from the city council on the next agenda.

Daniel Nelson mentioned the needles that have been found around town, and is curious about ideas that the council may have about ways to work towards stopping the problem. RJ mentioned that there have been lot more arrests recently and the biggest thing that can be done is to keep arresting the suppliers. Daniel would like to see more action from the City and Department managers regarding this issue, possibly an education class for the city managers from RJ and Chaundell on how to properly identify and handle needles. Chaundell would like to see some sharps containers put up for proper disposal, as this is also a hazard to our garbage crew. Jim See came into contact with needles while he was on the police force. Needle safety education is one of the biggest things the community can do to educate children and adults alike.

REPORTS FROM CITY OFFICIALS

Mayor- Mayor Watson spent last week in Juneau for SE Conference mid-session meeting. The atmosphere in Juneau is strained due to the capital budget process. It is uncertain what will end up in the final budget.

IFA- The publication, “IFA by the Numbers” is out to the public. Dennis hand delivered copies to every legislative office that deals with IFA issues. It has also produced responses from quite a few transportation entities, supporting keeping the appropriation where it is.

Mayor Watson wanted to comment on the Ford property correspondence and that the council may consider purchasing the property upon a more thorough inspection of the fill. This may be a viable option for expansion of harbor parking or other projects. Mike mentioned that a soils consultant he knows in Ketchikan may have a report on past test results taken from the Ford property.

Administrator- Provided a written report.

Treasurer- Joyce has been working on the Audit and Budget.

Aquatic Manager- Provided a written report. Nicole a site visit with an architectural company for the pool design project RFP, and was happy with the result of the walk through.

City Clerk- Provided a written report. Kassi also noted that the Alaska Association of Municipal Clerks awarded \$1575.00 for attendance at the NW Clerks Institute in June. This scholarship will pay for travel, housing, meals and registration for the institute.

City Planner- Provided a written report.

EMS Coordinator- Dr. Copus is on leave and Dr. Rodney Vaught has stepped in as the Craig EMS physician sponsor. EMS has been filling oxygen for everyone that needs it around the island; Chaundell will have a resolution for the fees next meeting. Chaundell has posted for a temporary employee also.

Harbormaster- Provided a written report.

Police Chief- Department of Homeland Security equipment showed up was, installed and went live. The police department has had a few customers utilizing the service already.

Public Works- Ron was in Juneau last week, but would add that Carson Dorn has submitted the proposal for the Household Hazardous Waste day May 10th. Public Works will begin advertising for this.

Parks and Rec- Computer issues couldn't provide a written report. Volleyball is over, but Victoria may be setting up 4 on 4 leagues. There will be yoga Monday, Tuesday, Wednesday at the Rec Center. Health Fair at the High school. April 26 is the spring bazaar.

Library-Absent excused.

Parks and Public Facilities- Provided a written report.

READING OF CORRESPONDENCE

Dispatch Services for Hollis

RJ has been working with Hollis and is waiting for two more items before he can go any further with this topic.

CONSIDERATION OF RESOLUTIONS AND ORDINANCES

1) Resolution 14-04, 2014 Tax Free Day

PIERCE/ HEAD

moved to approve Resolution 14-04.

ROLL CALL VOTE

MOTION CARRIED UNANIMOUSLY

2) Resolution 14-05, 2014 Parental Alienation Awareness Day

PIERCE/ HEAD

moved to approve Resolution 14-05.

ROLL CALL VOTE

MOTION CARRIED UNANIMOUSLY

UNFINISHED BUSINESS

US Army Corps of Engineers

There is 11-15,000,000 dollars that is not federally funded for this project. There are enough funds to complete the environmental portion of the Corps study. The Corps has secured their portion of the funding and is ready to proceed upon Council approval. Brian recommends working with the corps more on this project.

NEW BUSINESS

1. Consider approval of proposal for king salmon cost recovery at Port St. Nicholas

PIERCE/HEAD

moved to accept the administrator's recommendation.

MOTION CARRIED UNANIMOUSLY

2. Consider appropriation or improvements to Lot 92B, Port St. Nicholas Subdivision

PIERCE/DOUVILLE

moved to pay Mr. Scott Leslie \$5,670.93 to settle easement and other issues related to construction at and near his property at Lot 92B, Port St. Nicholas Subdivision.

The council would like to work with CTA to work out a plan that is fair for all parties involved. Mike is curious about what rights we have for the City's right-of-ways, and would like to work out the protocol for handling things such as this so in future the City has some footing. Greg is concerned about the precedence being set by taking this action. Jon explained that staff will respond to these types of requests on a case-by-case basis.

The council would like to work with CTA to work out a plan that is fair for all parties involved. Mike is curious about what rights we have for the City's right-of-ways, and would like to work out the protocol for handling things such as this so in future the City has some footing. Mike would like to work with CTA to discuss a timeline for complaints for these types of situations.

MOTION CARRIED UNANIMOUSLY

3. Consider letter of support for marine debris funding request

PIERCE/DOUVILLE

moved to direct staff to produce a letter of support to the Alaska Legislature.

Don asked about the testing that has been done for the radiation levels in the seafood around Prince of Wales and what publications are out that he could direct people to. Jim mentioned that SSRAA did some testing, and they have published their results. Mayor Watson will look for more information that may be more informative for the public. Mike would like to see participation from unskilled workers and unemployed high school students.

MOTION CARRIED UNANIMOUSLY

4. Award of bid Port St. Nicholas 12" water main replacement design

PIERCE/DOUVILLE

moved to direct staff to award a contract to R&M Engineering in an amount not to exceed \$13,400 to complete design services for replacement of 2300 linear feet of water line along Port St. Nicholas Road. Also to direct staff to get a quote to complete design for an additional 500 linear feet of water line along Port St. Nicholas Road.

MOTION CARRIED UNANIMOUSLY

5. Approval of FY13 Financial Audit

HEAD/PIERCE

moved to accept the City of Craig fiscal year 2013 audit as presented by Christine Harrington, CPA.

MOTION CARRIED UNANIMOUSLY

6. Consider approval of 2014 operation agreement with POWHA

PIERCE/HEAD

moved to approve the 2014 POWHA operational agreement and include an additional term with POWHA to set up a reserve fund for the 2014-2015 payment from the City to help support the King Salmon program in the future based on the receipt of the operational grant.

MOTION CARRIED UNANIMOUSLY

ADJOURNMENT

HEAD/SEE:

moved to adjourn at 8:04 p.m.

MOTION CARRIED

APPROVED _____

ATTEST _____

MAYOR DENNIS WATSON

KASSI BATEMAN, CITY CLERK

CITY OF CRAIG MEMORANDUM

To: Craig Mayor and City Council
From: Brian Templin, City Planner
Date: April 3, 2014
RE: Resolution 14-09, Sewer Outfall Easement – Lot 7, Port St. Nicholas #3, John and Teresa McCallum

In 2011 Shaan-Seet completed the subdivision of 8 lots on the Port St. Nicholas Road just inside the city limits. The developer installed water as required by municipal code for connection to developed lots there. Since the lots are outside of the existing municipal wastewater collection system these lots will have independent on-site wastewater/sewer treatment systems and will not be connected to the municipal system.

Most of the lots will likely consist of an aerobic treatment system and a marine outfall. City staff will require DEC certifications and a copy of the engineered design for all on-site treatment systems that are installed in this subdivision.

Since the city owns the adjacent tidelands (Tract A, ATS 1410) the marine outfall will be placed on city owned tidelands and will require an easement. Installation, maintenance and eventual removal of the outfall will be the responsibility of the property owner and will be spelled out in the easement document.

John and Teresa McCallum, owners of Lots 6 and 7, Port St. Nicholas #3 Subdivision have applied for an easement for a marine outfall.

A draft easement diagram and resolution authorizing the city administrator to enter into an easement has been prepared and is attached to this memo. This is a non-exclusive use of the tideland and the easement may be granted without an appraisal of the property at a fee set by the council. Staff recommends a flat, onetime fee of \$250 for marine outfall easements within this subdivision. This easement does not apply to other uses such as a dock or fill. Those uses would require the applicant to go through a lease or purchase process.

The completed easement will contain language requiring that the property owner tie to municipal sewer and remove the outfall when municipal sewer is extended along the Port St. Nicholas Road adjacent to these lots.

Recommendation: Approve Craig Resolution 14-09 authorizing the city administrator to execute an easement for a marine outfall from Lot 7, PSN #3 subdivision onto Tract A, ATS 1410.

**CITY OF CRAIG
RESOLUTION 14-09**

A RESOLUTION GRANTING AN EASEMENT TO JOHN AND TERESA MCCALLUM TO PLACE A MARINE OUTFALL ON CITY OWNED TIDELAND AT TRACT A, ATS 1410

WHEREAS, pursuant to Craig Municipal Code 16.04.010, John and Teresa McCallum have requested an easement to place a marine outfall on City owned tideland adjacent to their property (Lot 7, Port St. Nicholas Subdivision #3) within Tract A, ATS 1410; and,

WHEREAS, the proposed construction would conform to a system design approved by the Alaska Department of Environmental Conservation (ADEC); and,

WHEREAS, a copy of the final design, accurate location and ADEC certification shall be provided to the city's public works department; and,

WHEREAS, this easement is a non-exclusive use of the tideland and that no other use of the easement is allowed; and,

WHEREAS, the property owner agrees to perform all installation, maintenance, operation and if required, removal of the marine outfall and associated construction at no cost to the City; and,

WHEREAS, this easement and the conditions contained herein shall be attached to the above described property for the purpose of sale or transfer; and,

WHEREAS, Section 16.04.010 of the Craig Municipal Code provides for approval of easements by City Council Resolution.

NOW, THEREFORE, BE IT RESOLVED that the City of Craig hereby directs the City Administrator to enter into negotiations for the exact location and execute an agreement with John and Teresa McCallum for the aforementioned easement. The City Administrator shall ensure that all applicable sections of CMC 16.04.010 are met.

Adopted this 17th day of April, 2014.

Mayor Dennis Watson

ATTEST _____
Kassi Knock, City Clerk

LOT 6

LOT 7

LOT 8

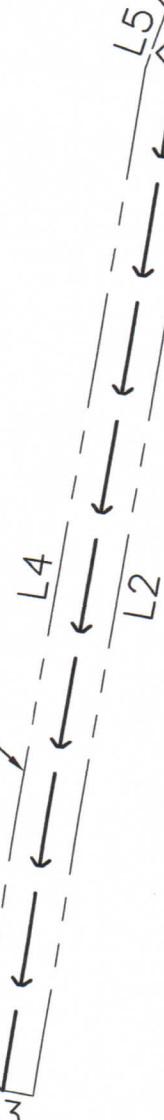
MHT
 128.10'
 S40°42'26"E 209.64'
 A.T.S. 1410
 CITY OF CRAIG



BEACH ROCK

343.03'
 N13°56'46"E

N6°28'04"E 366.09'

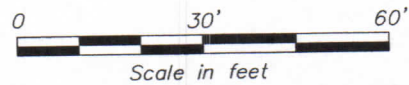


10' SEWER EASEMENT

-4 MLLW OUTFALL

MHT
 53.79'
 S82°28'15"E 116.72'

| LINE TABLE | | |
|------------|-------------|---------|
| LINE # | DIRECTION | LENGTH |
| L1 | S20°59'26"W | 4.07' |
| L2 | S10°31'40"W | 166.74' |
| L3 | N79°28'20"W | 10.00' |
| L4 | S10°31'40"W | 167.65' |
| L5 | S20°59'26"W | 10.37' |
| L6 | S40°42'26"E | 11.36' |



Scale in feet

E:\Admin\Moore\McCallum\McCallum_Lots_6&7.dwg Tue, 01/Apr/14 08:43AM GDM_Graphics (907) 789-5798 (907) 789-9091 (FAX)

MOORE ENGINEERING
 P.O. BOX 397 CRAIG, ALASKA 99921 (907) 530-7008
TRACY MOORE, P.E.
 REGISTERED PROFESSIONAL CIVIL ENGINEER

MARINE SEWER OUTFALL EASEMENT
 JOHN & TERESA McCALLUM
 11204 N. BAR 21 DRIVE
 GLENN'S FERRY, IDAHO 83623

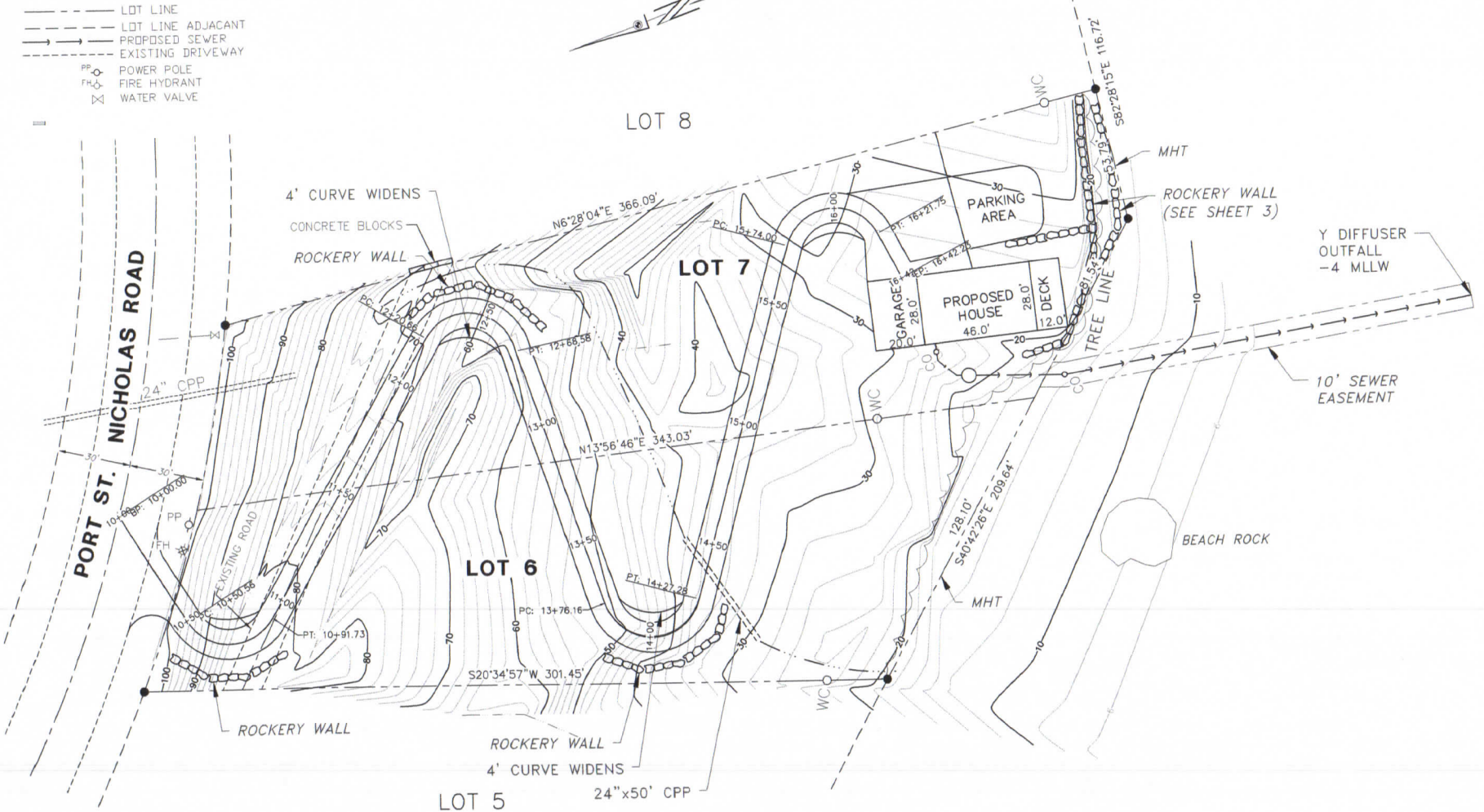
DRAWN/CHECKED
GDM/T.M.
 REVISION

DATE
MAR 2014
 SHEET
1 OF 1

LEGEND

- LOT LINE
- - - - LOT LINE ADJACENT
- → → PROPOSED SEWER
- - - - EXISTING DRIVEWAY
- PP ○ POWER POLE
- FH ○ FIRE HYDRANT
- ⊗ WATER VALVE

E:\sp\m\moore\mcallum\mcallum - lots 6&7.dwg
 Tue, 01/Apr/14 08:46AM
 GDM Graphics (907) 789-5798 (907) 789-9091 (FA)



LOT 5
 A.T.S. 1410
 CITY OF CRAIG
SITE PLAN
 SCALE: 1"=40'

MOORE ENGINEERING

P.O. BOX 397 CRAIG, ALASKA 99921 (907) 530-7008

TRACY MOORE, P.E. REGISTERED PROFESSIONAL CIVIL ENGINEER

| REVISIONS: |
|------------|
| |
| |
| |

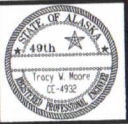
SITE PLAN
 JOHN & TERESA McCALLUM
 11204 N. BAR 21 DRIVE
 GLENN'S FERRY, IDAHO 83623

DRAWN/CHECKED
GDM/T.M.

REVISION

DATE
MARCH 2014

SHEET
1 OF 4



LEGEND

- LOT LINE
- - - LOT LINE ADJACANT
- - - EXISTING MARINE OUTFALL
- → → PROPOSED SEWER
- - - EXISTING DRIVEWAY
- POWER POLE
- ⊕ FIRE HYDRANT

(12" MIN.) 20'x50' MIN. ROCK
COBBLE (4" TO 8") ENTRANCE/ EXIT
SITE CONTROL STRUCTURE

NOTES

1. ALL DISTURBED AREAS TO BE SEEDED WITHIN 2 WEEKS OF FINAL SLOPE DRESSING.
2. SEEDING NOT SHOWING GROUND SHALL BE HYDRO SEEDED WITHIN 30 DAYS OF WORK
3. WASTE SITES TO BE

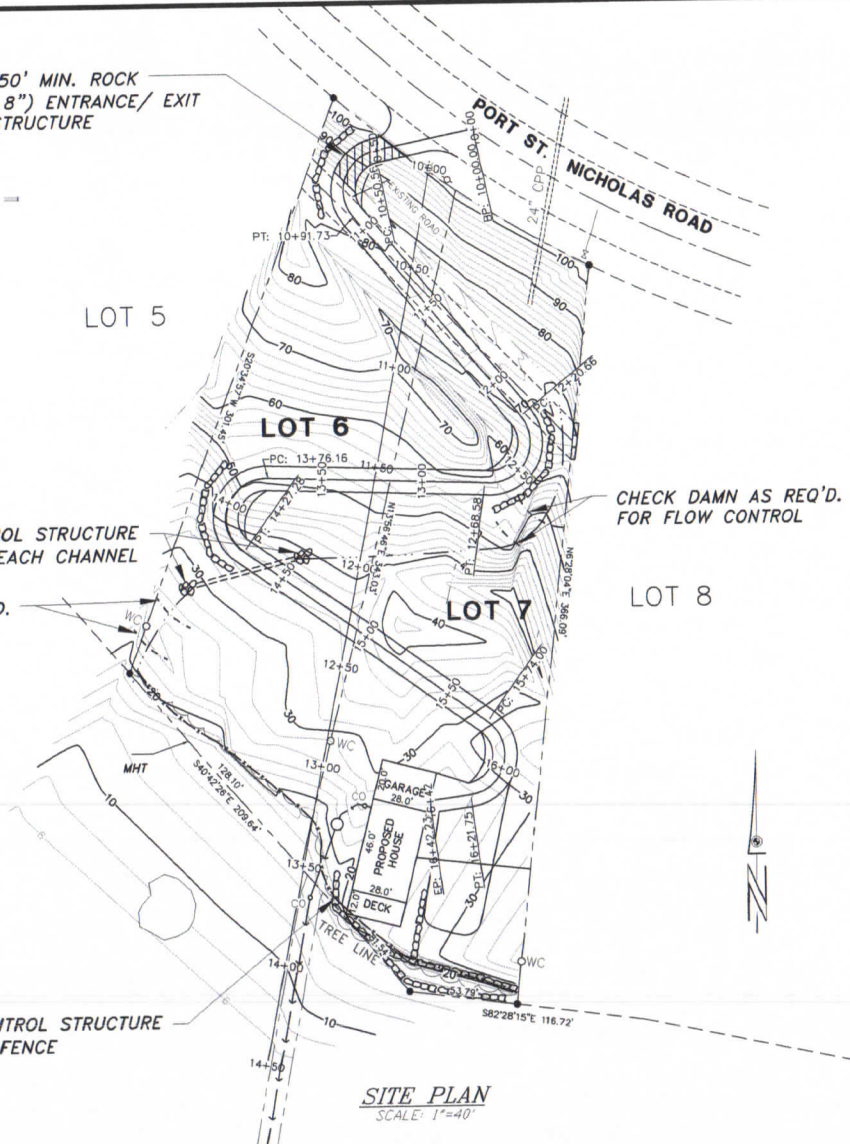
INLET & OUTLET CONTROL STRUCTURE
12" MINUS ROCK, 30' EACH CHANNEL

CHECK DAMN AS REQ'D.
FOR FLOW CONTROL

CHECK DAMN AS REQ'D.
FOR FLOW CONTROL

SILTATION CONTROL STRUCTURE
BRUSH/ SILT FENCE

SITE PLAN
SCALE: 1"=40'



MOORE ENGINEERING

P.O. BOX 397 CRAIG, ALASKA 99921 (907) 530-7008

TRACY MOORE, P.E. REGISTERED PROFESSIONAL CIVIL ENGINEER

REVISIONS:

**STORM WATER EROSION
CONTROL PLAN**

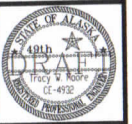
JOHN & TERESA McCALLUM
11204 N. BAR 21 DRIVE
GLENN'S FERRY, IDAHO 83623

DRAWN/CHECKED
GDM/T.M.

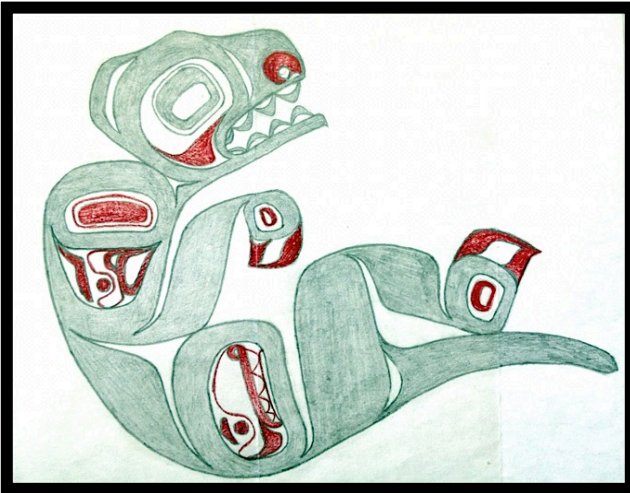
REVISION

DATE
MAR 2014

SHEET
3 OF 4



E:\spdr\Moore\McCallum\McCallum_Lots_6&7.dwg Tue, 01/Apr/14 08:45AM GDM Graphics (907) 789-5798 (907) 789-9001 (FAX)



Prince of Wales Tribal Sea Otter Commission (POW-TSOC)

SAVE THE DATE!!!

Thursday, May 22nd, 2014

Location – Klawock ANB Hall

Time: 8:00am – 5:30pm

Registration Deadline – FRIDAY, May 2nd, 2014

Prince of Wales Sea Otter Conference

Participants will learn about the Marine Mammal Protection Act of 1972 & its amendments as well as other projects & activities in Alaska regarding Sea Otters.

With presentations by the following:

POW-Tribal Sea Otter Commission – By OVK's IGAP Department; U.S. Fish & Wildlife Service; SEALASKA Heritage Institute; Alaska Sea Grant – Marine Advisory Program; Southeast Alaska Regional Dive Fisheries Association (SARDFA); U.S. Geological Survey; & Invitations have also been sent to our Legislators

IF YOU HAVE ANY QUESTIONS, PLEASE FEEL FREE TO CONTACT:

Dennis Nickerson dennis@kasaan.org or **Machelle Edenshaw** machelle@kasaan.org

Pick up a registration form from your local Tribal Office or contact Machelle Edenshaw to have a copy emailed to you.

This conference was funded & made possible by the following:

The Alaska Conservation Foundation – Alaska Native Fund through a grant rewarded to the Organized Village of Kasaan; Alaska Sea Grant; U.S. Fish & Wildlife Service & the University of Alaska Fairbanks

2014 Prince of Wales Island Sea Otter Meeting
May 22, 2014
Klawock ANB Hall

Moderator – Don Nickerson, Jr.

8:15-8:45 Registration and Refreshments

8:45-8:55 Welcome

8:55-9:10 Speaker and Panel Introductions – Sunny Rice

9:10-9:30 Dennis Nickerson, Organized Village of Kasaan - The history of sea otters on Prince of Wales I.

9:30-9:50 Verena Gill/Brad Benter, USFWS – US Fish and Wildlife Service sea otter management activities in southeast Alaska

9:50-10:10 Zac Hoyt UAF –Distribution and foraging ecology of sea otters in southern southeast Alaska

10:10-10:30 Sunny Rice, UAF – Local observations on sea otter colonization

10:30-11:00 BREAK

11:00-11:20 Ginny Eckert, UAF – Sea otters as apex predators in southeast Alaska

11:20-11:40 Phil Doherty, SARDFa – Economic impacts of sea otters on dive fisheries in southeast Alaska

11:40-12:00 Q&A with morning speakers

12:00-1:20 Lunch by Heinyaa Kwaan & Xaagaanaa Dancers- Klawock

1:20-1:40 Lee Kadinger, Sealaska Heritage Institute – Developing a sea otter handicraft economy in southeast Alaska

1:40-2:00 George Esslinger, USGS, Dietary patterns associated with the recolonization of sea otters in Glacier Bay, Alaska

2:00-2:20 Organized Village of Kasaan - POW tribal sea otter commission

2:20-2:30 Q&A with afternoon speakers

2:30-2:40 BREAK

2:40-4:00 Panel Discussion- “Perspectives and lessons learned from other regions”

Moderator: Sunny Rice

Panelists: 1) Tim Tinker- USGS, UCSC

3) Lillian Carswell - USFWS CA

4) Bob Bertelli – CA sea urchin commission

5) Roger Dunlop – Nuuchahnulth Tribal Council Fisheries, BC

4:00- 5:30 Performance by Heinyaa Kwaan & Xaagaanaa Dancers- Klawock & Networking

Prince of Wales Tribal Sea Otter Conference

May 22nd, 2014 (Thursday)

Klawock ANB Hall – 865 Bayview Blvd.

*Hosted by the
Organized Village of Kasaan;
U.S. Fish & Wildlife Service &
University of Alaska Fairbanks*

REGISTRATION FORM

- **DEADLINE FOR REGISTRATION** is Friday, May 2nd, 2014

Attendance is limited to one-hundred, (100) participants

Participant Information:

First Name

Last Name

Street Address

Mailing Address

City

State

Zip Code

Contact Phone No.

Email address

TO REGISTER:

- **Scan & EMAIL to:** Mabelle Edenshaw at mabelle@kasaan.org
- **Fax** registration to the OVK office# 1-888-241-0091, Attention: Mabelle Edenshaw
– ***Please call OVK office at 907-542-2230 to confirm your fax has been received!***

You will learn about:

- The Marine Mammal Protection Act of 1972 (and it's amendments)
- Projects & activities going on in Alaska regarding sea otters
- History of sea otters in Alaska
- The formation of the Prince of Wales – Tribal Sea Otter Commission (POW – TSOC)

This conference is funded by the following: Alaska Conservation Foundation- Alaska Native Fund through a grant rewarded to the Organized Village of Kasaan; Alaska Sea Grant; U.S. Fish & Wildlife Service; & the University of Alaska Fairbanks.

IF YOU HAVE ANY QUESTIONS, PLEASE FEEL FREE TO CONTACT:

Mabelle Edenshaw at mabelle@kasaan.org



April 9, 2014

sent via email

Ms. Joyce Mason
Treasurer
City of Craig
P.O. Box 725
Craig, Alaska 99921

Dear Ms. Mason,

Enclosed is the March 2014 report for the City of Craig, which includes a listing of portfolio assets, purchases and sales.

At month-end, the market value of the account was \$10,052,342. Based upon the composition of the portfolio, the expected annual income, excluding dividends on equities, is \$89,696.

In order to improve our client service by providing more timely and efficient information, beginning next month we will change the look of our normal reports. Future monthly reports will include an account information and performance sheet similar to the quarterly account summary sheet, normally seen each calendar quarter. This report will provide more timely information on account performance on a monthly basis as opposed to quarterly. Unless circumstances warrant, the normal narrative of the monthly letter will be discontinued. We hope you find this change helpful and please don't hesitate to contact us with any questions or concerns.

Please call if you have any questions regarding this month's report.

Sincerely,

Bert Wagnon
Senior Vice President

Evan D. Rose
President and CEO

cc via email: Mr. Jon Bolling, City Administrator

CITY OF CRAIG

Account Statement - Period Ending March 31, 2014



ACCOUNT ACTIVITY

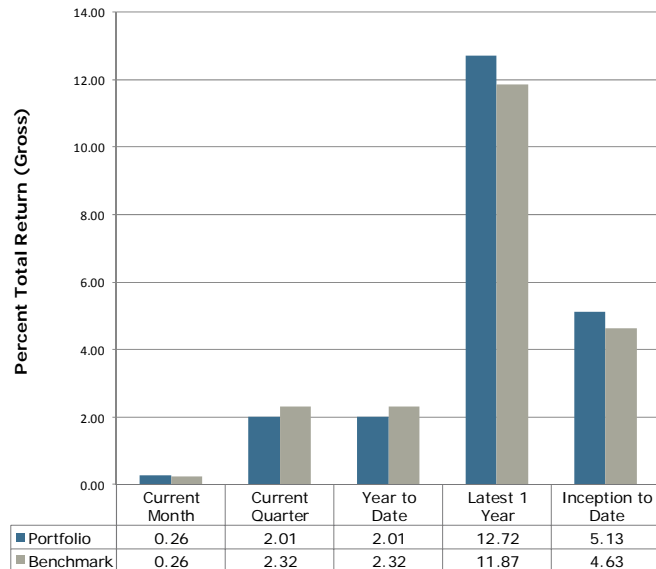
| | |
|-----------------------------|------------|
| Portfolio Value on 12-31-13 | 9,864,595 |
| Contributions | 0 |
| Withdrawals | -10,386 |
| Change in Market Value | 136,908 |
| Interest | 22,660 |
| Dividends | 38,564 |
| Portfolio Value on 03-31-14 | 10,052,342 |

MANAGEMENT TEAM

| | |
|-------------------------------|---|
| Director of Client Relations: | Laura Bruce, CFP®, ChFC Laura@apcm.net |
| Your Portfolio Manager: | Bert Wagon Jason Roth |
| Contact Phone Number: | 907/272 -7575 |

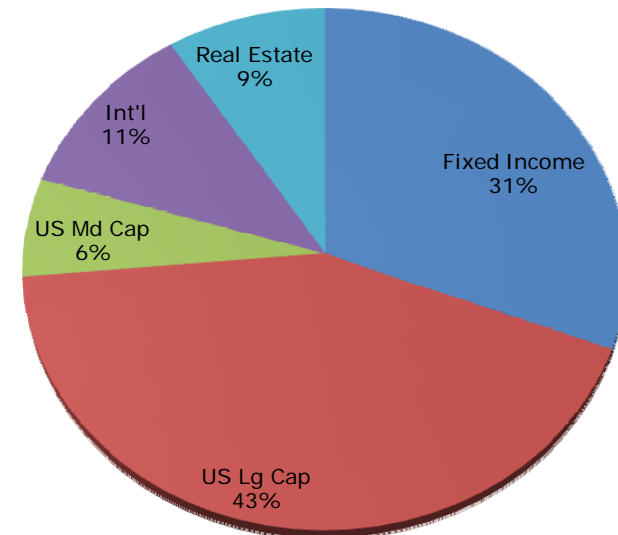
INVESTMENT PERFORMANCE

Current Account Benchmark:
Equity Blend



Performance is Annualized for Periods Greater than One Year

PORTFOLIO COMPOSITION



Alaska Permanent Capital Management Co.
PORTFOLIO SUMMARY AND TARGET
CITY OF CRAIG
March 31, 2014

| Asset Class & Target | Market Value | % Assets | Range |
|--|---------------------|---------------------|--------------|
| FIXED INCOME (34%) | | | |
| US Fixed Income (34.0%) | 2,910,107 | 28.9 | 20% to 45% |
| Cash (0.0%) | 191,529 | 1.9 | na |
| Subtotal: | 3,101,636 | 30.9 | |
| EQUITY (66%) | | | |
| US Large Cap (40.0%) | 4,299,360 | 42.8 | 30% to 50% |
| US Mid Cap (6.0%) | 603,218 | 6.0 | 0% to 10% |
| Developed International Equity (10.0%) | 1,140,166 | 11.3 | 5% to 15% |
| Real Estate (10.0%) | 907,961 | 9.0 | 5% to 15% |
| Subtotal: | 6,950,706 | 69.1 | |
| TOTAL PORTFOLIO | 10,052,342 | 100 | |

Alaska Permanent Capital Management Co.
PORTFOLIO APPRAISAL
CITY OF CRAIG
March 31, 2014

| Quantity | Security | Average Cost | Total Average Cost | Price | Market Value | Pct. Assets | Annual Income | Accrued Interest | Yield to Maturity |
|--------------------------------|---|-----------------|-----------------------|--------|-----------------|----------------|------------------|---------------------|-------------------------|
| U.S. TREASURY | | | | | | | | | |
| 40,000 | US TREASURY NOTES 1.250% Due 10-31-15 | 98.51 | 39,405 | 101.55 | 40,619 | 0.40 | 500 | 210 | 0.27 |
| 175,000 | US TREASURY NOTES 0.625% Due 07-15-16 | 100.11 | 175,185 | 100.12 | 175,219 | 1.74 | 1,094 | 230 | 0.57 |
| 150,000 | US TREASURY NOTES 0.625% Due 08-31-17 | 99.79 | 149,684 | 98.30 | 147,457 | 1.47 | 937 | 82 | 1.13 |
| 300,000 | US TREASURY NOTES 1.875% Due 09-30-17 | 102.89 | 308,672 | 102.44 | 307,314 | 3.06 | 5,625 | 15 | 1.16 |
| 100,000 | US TREASURY NOTES 3.750% Due 11-15-18 | 106.48 | 106,480 | 109.62 | 109,625 | 1.09 | 3,750 | 1,419 | 1.58 |
| 100,000 | US TREASURY NOTES 3.500% Due 05-15-20 | 104.04 | 104,039 | 108.34 | 108,336 | 1.08 | 3,500 | 1,325 | 2.04 |
| 200,000 | US TREASURY NOTES 1.375% Due 05-31-20 | 98.88 | 197,766 | 95.78 | 191,562 | 1.91 | 2,750 | 922 | 2.11 |
| 75,000 | U S TREASURY NOTES 2.125% Due 08-15-21 | 98.49 | 73,869 | 98.27 | 73,705 | 0.73 | 1,594 | 198 | 2.38 |
| 50,000 | US TREASURY NOTES 1.625% Due 11-15-22 | 98.79 | 49,396 | 92.54 | 46,269 | 0.46 | 812 | 307 | 2.60 |
| 150,000 | US TREASURY NOTES 2.500% Due 08-15-23 | 97.85 | 146,777 | 98.57 | 147,855 | 1.47 | 3,750 | 466 | 2.67 |
| | Accrued Interest | | | | 5,174 | 0.05 | | | |
| | | | 1,351,273 | | 1,353,135 | 13.46 | | 5,174 | |
| AGENCIES | | | | | | | | | |
| 50,000 | FHLB 5.250% Due 06-18-14 | 100.80 | 50,401 | 101.11 | 50,553 | 0.50 | 2,625 | 751 | 0.07 |
| 150,000 | FNMA* 0.800% Due 02-28-18 | 98.26 | 147,390 | 98.12 | 147,181 | 1.46 | 1,200 | 110 | 1.29 |
| 100,000 | FHLMC 3.750% Due 03-27-19 | 101.41 | 101,410 | 109.07 | 109,075 | 1.09 | 3,750 | 42 | 1.84 |
| | Accrued Interest | | | | 903 | 0.01 | | | |
| | | | 299,201 | | 307,713 | 3.06 | | 903 | |
| FNMA & FHLMC | | | | | | | | | |
| 16,295 | FHLMC 4.00% POOL G14203 4.000% Due 04-01-26 | 104.56 | 17,038 | 105.92 | 17,260 | 0.17 | 652 | 54 | 2.30 |
| | Accrued Interest | | | | 54 | 0.00 | | | |
| | | | 17,038 | | 17,314 | 0.17 | | 54 | |
| ASSET-BACKED SECURITIES | | | | | | | | | |
| 100,000 | GE CAPITAL CREDIT CARD MASTER NOTE 3.800% Due 11-15-17 | 107.25 | 107,250 | 101.98 | 101,984 | 1.01 | 3,800 | 169 | 0.60 |

Alaska Permanent Capital Management Co.
PORTFOLIO APPRAISAL
CITY OF CRAIG
March 31, 2014

| Quantity | Security | Average Cost | Total Average Cost | Price | Market Value | Pct. Assets | Annual Income | Accrued Interest | Yield to Maturity |
|--|--|-----------------|-----------------------|--------|-----------------|----------------|------------------|---------------------|-------------------------|
| | Accrued Interest | | | | 169 | 0.00 | | | |
| | | | 107,250 | | 102,153 | 1.02 | | 169 | |
| CORPORATE BONDS | | | | | | | | | |
| 100,000 | JP MORGAN CHASE & CO 4.750% Due 03-01-15 | 97.18 | 97,176 | 103.78 | 103,777 | 1.03 | 4,750 | 396 | 0.61 |
| 100,000 | HSBC FINANCE CORP 5.500% Due 01-19-16 | 100.21 | 100,206 | 108.00 | 108,000 | 1.07 | 5,500 | 1,100 | 1.00 |
| 50,000 | BRITISH COLUMBIA PROV OF 2.100% Due 05-18-16 | 99.98 | 49,990 | 103.16 | 51,578 | 0.51 | 1,050 | 388 | 0.61 |
| 50,000 | BANK AMER CORP 5.625% Due 10-14-16 | 107.18 | 53,592 | 110.49 | 55,247 | 0.55 | 2,812 | 1,305 | 1.40 |
| 50,000 | CONOCOPHILLIPS CANADA 5.625% Due 10-15-16 | 117.91 | 58,955 | 111.67 | 55,837 | 0.56 | 2,812 | 1,297 | 0.96 |
| 50,000 | STATOIL ASA 3.125% Due 08-17-17 | 107.07 | 53,533 | 105.46 | 52,731 | 0.52 | 1,562 | 191 | 1.46 |
| 100,000 | UNITED PARCEL SERVICE 5.500% Due 01-15-18 | 121.23 | 121,230 | 113.86 | 113,858 | 1.13 | 5,500 | 1,161 | 1.71 |
| 100,000 | WACHOVIA CORP GLOBAL MEDIUM 5.750% Due 02-01-18 | 99.57 | 99,572 | 114.50 | 114,499 | 1.14 | 5,750 | 958 | 1.82 |
| 75,000 | UNITED HEALTH GROUP INC 6.000% Due 02-15-18 | 121.46 | 91,093 | 115.08 | 86,314 | 0.86 | 4,500 | 575 | 1.94 |
| 75,000 | GENERAL ELECTRIC CAP CORP. 5.625% Due 05-01-18 | 88.27 | 66,205 | 114.29 | 85,716 | 0.85 | 4,219 | 1,758 | 1.96 |
| 50,000 | TOYOTA MOTOR CREDIT CORP 2.100% Due 01-17-19 | 100.48 | 50,239 | 99.63 | 49,815 | 0.50 | 1,050 | 216 | 2.18 |
| 100,000 | GOLDMAN SACHS GROUP INC. 7.500% Due 02-15-19 | 116.51 | 116,514 | 120.98 | 120,979 | 1.20 | 7,500 | 958 | 2.85 |
| 100,000 | VERIZON COMMUNICATIONS 6.350% Due 04-01-19 | 125.02 | 125,020 | 117.96 | 117,963 | 1.17 | 6,350 | 3,175 | 2.50 |
| | Accrued Interest | | | | 13,478 | 0.13 | | | |
| | | | 1,083,327 | | 1,129,792 | 11.24 | | 13,478 | |
| DOMESTIC LARGE CAP EQUITY FUNDS/ETF | | | | | | | | | |
| 22,990 | SPDR S&P 500 ETF TRUST | 137.86 | 3,169,436 | 187.01 | 4,299,360 | 42.77 | NA | | |
| DOMESTIC MID CAP EQUITY FUNDS/ETF | | | | | | | | | |
| 4,388 | ISHARES S&P MIDCAP 400 | 69.71 | 305,867 | 137.47 | 603,218 | 6.00 | NA | | |
| INTERNATIONAL FUNDS/ETF | | | | | | | | | |
| 27,627 | VANGUARD MSCI EAFE ETF | 37.73 | 1,042,293 | 41.27 | 1,140,166 | 11.34 | NA | | |

Alaska Permanent Capital Management Co.
PORTFOLIO APPRAISAL
CITY OF CRAIG
March 31, 2014

| <u>Quantity</u> | <u>Security</u> | <u>Average Cost</u> | <u>Total Average Cost</u> | <u>Price</u> | <u>Market Value</u> | <u>Pct. Assets</u> | <u>Annual Income</u> | <u>Accrued Interest</u> | <u>Yield to Maturity</u> |
|-----------------------------|---------------------------------|-------------------------|-------------------------------|--------------|-------------------------|------------------------|--------------------------|-----------------------------|----------------------------------|
| REAL ESTATE | | | | | | | | | |
| 12,857 | VANGUARD REIT ETF | 56.44 | 725,700 | 70.62 | 907,961 | 9.03 | NA | | |
| CASH AND EQUIVALENTS | | | | | | | | | |
| | DIVIDEND ACCRUAL | | 18,958 | | 18,958 | 0.19 | | | |
| | FEDERATED GOVERNMENT OBLIGATION | | <u>172,571</u> | | <u>172,571</u> | <u>1.72</u> | | | |
| | | | 191,529 | | 191,529 | 1.91 | | | |
| TOTAL PORTFOLIO | | | 8,292,915 | | 10,052,342 | 100 | 89,696 | 19,777 | |

Alaska Permanent Capital Management Co.
TRANSACTION SUMMARY
CITY OF CRAIG
From 03-01-14 To 03-31-14

| Trade Date | Settle Date | Security | Quantity | Trade Amount |
|-------------------------------------|----------------|---|----------|------------------|
| PURCHASES | | | | |
| U.S. TREASURY | | | | |
| 03-19-14 | 03-20-14 | U S TREASURY NOTES 2.125% Due 08-15-21 | 75,000 | 73,869.14 |
| | | | | 73,869.14 |
| DEPOSITS AND EXPENSES | | | | |
| MANAGEMENT FEES | | | | |
| 03-31-14 | 03-31-14 | MANAGEMENT FEES | | 2,513.09 |
| | | | | 2,513.09 |
| DIVIDEND | | | | |
| DOMESTIC LARGE CAP EQUITY FUNDS/ETF | | | | |
| 03-21-14 | 04-30-14 | SPDR S&P 500 ETF TRUST | | 18,957.78 |
| DOMESTIC MID CAP EQUITY FUNDS/ETF | | | | |
| 03-31-14 | 03-31-14 | ISHARES S&P MIDCAP 400 | | 1,930.41 |
| INTERNATIONAL FUNDS/ETF | | | | |
| 03-31-14 | 03-31-14 | VANGUARD MSCI EAFE ETF | | 11,851.98 |
| REAL ESTATE | | | | |
| 03-31-14 | 03-31-14 | VANGUARD REIT ETF | | 5,824.22 |
| | | | | 38,564.39 |
| INTEREST | | | | |
| AGENCIES | | | | |
| 03-27-14 | 03-27-14 | FHLMC 3.750% Due 03-27-19 | | 1,875.00 |

Alaska Permanent Capital Management Co.
TRANSACTION SUMMARY
CITY OF CRAIG
From 03-01-14 To 03-31-14

| Trade Date | Settle Date | Security | Quantity | Trade Amount |
|--------------------------------|----------------|--|----------|-----------------|
| ASSET-BACKED SECURITIES | | | | |
| 03-17-14 | 03-17-14 | GE CAPITAL CREDIT CARD MASTER NOTE 3.800% Due 11-15-17 | | 316.67 |
| CASH AND EQUIVALENTS | | | | |
| 03-03-14 | 03-03-14 | FEDERATED GOVERNMENT OBLIGATION | | 1.20 |
| CORPORATE BONDS | | | | |
| 03-03-14 | 03-03-14 | JP MORGAN CHASE & CO 4.750% Due 03-01-15 | | 2,375.00 |
| FNMA & FHLMC | | | | |
| 03-17-14 | 03-17-14 | FHLMC 4.00% POOL G14203 4.000% Due 04-01-26 | | 55.39 |
| U.S. TREASURY | | | | |
| 03-31-14 | 03-31-14 | US TREASURY NOTES 1.875% Due 09-30-17 | | 2,812.50 |
| | | | | 7,435.76 |
| PRINCIPAL PAYDOWNS | | | | |
| FNMA & FHLMC | | | | |
| 03-17-14 | 03-17-14 | FHLMC 4.00% POOL G14203 4.000% Due 04-01-26 | 322.88 | 322.88 |
| | | | | 322.88 |

Alaska Permanent Capital Management Co.
TRANSACTION SUMMARY
CITY OF CRAIG
From 03-01-14 To 03-31-14

| Trade Date | Settle Date | Security | Quantity | Trade Amount |
|-----------------------------------|----------------|---|----------|-----------------|
| PURCHASED ACCRUED INTEREST | | | | |
| U.S. TREASURY | | | | |
| 03-19-14 | 03-20-14 | U S TREASURY NOTES 2.125% Due 08-15-21 | | 145.29 |
| | | | | 145.29 |
| WITHDRAW | | | | |
| CASH AND EQUIVALENTS | | | | |
| 03-13-14 | 03-13-14 | FEDERATED GOVERNMENT OBLIGATION | | 2,507.25 |
| 03-31-14 | 03-31-14 | FEDERATED GOVERNMENT OBLIGATION | | 252.50 |
| | | | | 2,759.75 |
| | | | | 2,759.75 |

Alaska Permanent Capital Management Co.
REALIZED GAINS AND LOSSES
CITY OF CRAIG
From 03-01-14 Through 03-31-14

| <u>Date</u> | <u>Quantity</u> | <u>Security</u> | <u>Avg. Cost Basis</u> | <u>Proceeds</u> | <u>Gain Or Loss</u> |
|--------------|-----------------|---|----------------------------|-----------------|---------------------|
| 03-17-14 | 322.88 | FHLMC 4.00% POOL G14203 4.000% Due 04-01-26 | 337.61 | 322.88 | -14.73 |
| TOTAL GAINS | | | | | 0.00 |
| TOTAL LOSSES | | | | | -14.73 |
| | | | 337.61 | 322.88 | -14.73 |

Alaska Permanent Capital Management Co.

CASH LEDGER***CITY OF CRAIG****From 03-01-14 To 03-31-14*

| Trade Date | Settle Date | Tran Code | Activity | Security | Amount |
|--|------------------------|----------------------|-----------------------|--|------------------|
| DIVIDEND ACCRUAL | | | | | |
| 03-01-14 | | | Beginning Balance | | 0.00 |
| 03-21-14 | 04-30-14 | dp | Dividend | SPDR S&P 500 ETF TRUST | 18,957.78 |
| 03-31-14 | | | Ending Balance | | 18,957.78 |
| FEDERATED GOVERNMENT OBLIGATION | | | | | |
| 03-01-14 | | | Beginning Balance | | 221,980.29 |
| 03-03-14 | 03-03-14 | dp | Interest | JP MORGAN CHASE & CO 4.750% Due 03-01-15 | 2,375.00 |
| 03-03-14 | 03-03-14 | dp | Interest | FEDERATED GOVERNMENT OBLIGATION | 1.20 |
| 03-13-14 | 03-13-14 | wd | Withdrawal | from Portfolio | -2,507.25 |
| 03-17-14 | 03-17-14 | dp | Paydown | FHLMC 4.00% POOL G14203 4.000% Due 04-01-26 | 322.88 |
| 03-17-14 | 03-17-14 | dp | Interest | FHLMC 4.00% POOL G14203 4.000% Due 04-01-26 | 55.39 |
| 03-17-14 | 03-17-14 | dp | Interest | GE CAPITAL CREDIT CARD MASTER NOTE 3.800% Due 11-15-17 | 316.67 |
| 03-19-14 | 03-20-14 | wd | Purchase | U S TREASURY NOTES 2.125% Due 08-15-21 | -73,869.14 |
| 03-19-14 | 03-20-14 | wd | Accrued Interest | U S TREASURY NOTES 2.125% Due 08-15-21 | -145.29 |
| 03-27-14 | 03-27-14 | dp | Interest | FHLMC 3.750% Due 03-27-19 | 1,875.00 |
| 03-31-14 | 03-31-14 | dp | Interest | US TREASURY NOTES 1.875% Due 09-30-17 | 2,812.50 |
| 03-31-14 | 03-31-14 | dp | Dividend | VANGUARD MSCI EAFE ETF | 11,851.98 |
| 03-31-14 | 03-31-14 | dp | Dividend | VANGUARD REIT ETF | 5,824.22 |

Alaska Permanent Capital Management Co.

CASH LEDGER

CITY OF CRAIG

From 03-01-14 To 03-31-14

| Trade Date | Settle Date | Tran Code | Activity | Security | Amount |
|-----------------------|------------------------|----------------------|-----------------------|------------------------|-------------------|
| 03-31-14 | 03-31-14 | dp | Dividend | ISHARES S&P MIDCAP 400 | 1,930.41 |
| 03-31-14 | 03-31-14 | wd | Withdrawal | from Portfolio | -252.50 |
| 03-31-14 | | | Ending Balance | | 172,571.36 |

CITY OF CRAIG
MEMORANDUM
AQUATIC CENTER

To: Craig City Council

From: Nicole Robison, Aquatic Center Manager

RE: Public Information Gathered For Pool Renovations and Improvements

Date: April 17th, 2014

With renovations, improvements and the possibility of expansion of Aquatic Center looming in the near future, it was my task as the pool's manager to gather information from the public. Several public meetings were held including a public Planning Commission meeting, all of which had low attendance. However, a more successful avenue for gathering public information was a survey that I made and had available at the Aquatic Center and City Hall, these surveys were also sent out to every mailbox holder in Craig. We have gotten 66 surveys back, with some good information about what the public would like to see. Below, I have compiled a list of some of the questions that generated the most interest and some of the more popular answers.

In General:

Q: What additional programs would you like to see us offer?

A: Yoga, Hot Yoga, Land Aerobics, Weight Lifting Classes, Self Defense Classes, More Lap Swim times, Dance, Aqua Aerobics, Zumba (this is similar to Aqua Aerobics, but more of an intense dance workout in the water), Kick Boxing, Personal Trainer for Fitness Facility, Masters Swim Team (adult swim team).

For many of the suggestions of this question, it is obvious we would need additional conveniences to make these requests possible, we received many similar answers to the question:

Q: We are considering expanding our current facility; one of the additions might be a multi purpose room, if a multi purpose room were offered, what programs would you like it used for?

The answers listed are *in addition*, to the answers from the above question...

A: Birthday Parties, Cross-fit, Spin Class (stationary bicycle class), Meetings, P90X (workout routine), Pilates Class

Q: With the possibility of expanding the fitness area, what equipment that we do not currently offer would you like to see?

A: Steam Room, Tread Climber, an Inverter, Flatscreen TV on wall, Pull-Up Bars, Climbing Wall, Squat Rack, a better Universal Machine, Punching Bag, Speed Bag, more Treadmills, more Ellipticals, more Mirrors, Recumbent Bicycles, Spin Bikes. It was also highly commented that we need an indoor walking track.

Q: What would you like to see added to our locker rooms?

A: Swim Suit Spinner, More Showers, Individual Shower Stalls, a Family Changing Room, more Private Changing Stalls.

It was **highly** suggested that we get plastic lockers, luckily that was something I had already thought of budgeted for and purchased! We have plastic lockers at our facility waiting to be installed ☺

It was also highly suggested that we get better soap dispensers, which we have also recently purchased.

Q: Is there anything that we've overlooked?

A: The center should be used for health and fitness – parties should be limited, birthdays should be free, warmer water, cost prohibitive, stay open later at night, make every open swim dollar night, underwater speakers, water bottle vending machine, salt water pool, retractable roof, open earlier in the mornings, bleacher area.

As a side note, it was listed a few times that a larger fitness area should be a priority above adding other things such as a racquetball court. I think most of us agree with this!

I have attached a copy of the survey we used, please feel free to ask questions and/or fill it out!

I have set up an informational corner in the pool's lobby with pictures of what an expansion might look like, pictures of fitness equipment that has been suggested and suggestions for multi purpose room use, we have been giving markers to customers and have been asking them to make a mark on the things they would like to see us acquire. We have gotten a lot of compliments on posting visuals in our lobby.

If there are any questions regarding the pool, please feel free to e-mail us at pool@craigak.com or call 826-2794, we would love to assist you.

Best wishes to all,

Nicole Robison

Aquatic Center Manager

**CRAIG AQUATIC CENTER
RENOVATIONS & PROGRAMS QUESTIONNAIRE**

Please answer the following questions to the best of your ability.
Please return this survey to the Aquatic Center or Craig City Hall.

You are not required to put your name or phone number on this survey.

If you would like to be eligible for our monthly drawing, please put your name and phone number on the last page of this survey and we will enter you for the chance to win a 10 use punch card to our facility!

In General:

1. On average, how many days per week do you use the Aquatic Center? _____
2. What time of the day do you prefer to use the facility? _____ am / pm
3. When you visit the facility which area do you use the most? Please circle all that apply:
Fitness Area Hot Tub/Sauna Lap Pool Kiddy Pool On deck TV
4. Which of our programs do you currently participate in? Please circle all that apply:
Fitness room Hot Tub/ Sauna Open Swim Toy Night Lap Swim
Aqua Aerobics Child Swimming Lessons Adult Stroke Refinement
Private Lessons (for any age) Pool Rental
5. What additional programs would you like to see?

Fitness:

1. Of the pieces of equipment that we currently have, which do you use the most? Please circle all that apply:
Stationary Bicycles Elliptical Treadmill Stair Stepper Arm Curl
Universal Machine Bench Press Free Weights Rowing Machine
Exercise Balls Medicine Balls
2. We are considering expanding our current facility; one of the additions would be a multi-purpose room. This room could be used for aerobics, dance, fitness, yoga, birthday parties and more. If a multi purpose room were offered, what programs would you like to see it used for?

3. With the possibility of expanding the fitness area, what equipment that we do not currently offer would you like to see?

4. If we were to include a racquetball court, how many times a week do you see yourself using it? _____

Additional Conveniences:

1. What would you like to see added to our locker rooms?

2. Is there anything that we've overlooked, that you would like us to touch base on in our next public meeting?

Name: _____ Phone Number: _____

CITY OF CRAIG MEMORANDUM

To: Craig Mayor and City Council
From: Brian Templin, City Planner
Date: April 9, 2014
RE: Ford Property Development

The council has been discussing the potential merits of purchasing Tract C, Tract C-T and Lot 4, Block 28, USS 1430 (collectively known as the Ford property). At the most recent council meeting there was some discussion of possible uses of the property. I have prepared a drawing that shows the property that we are discussing and some potential development uses of the property. The uses are not dependent on each other so the city would have the option of picking and choosing options presented on the attached drawing and discussing other uses.

As a start for discussion I have shown essentially four uses of the existing property.

1. Harbor parking and support (items 1 and 2 on the attached drawing). If the city purchases the property one potential use could be dedicating a portion of the property to harbor parking and support services. The city could also choose to modify the existing harbor, essentially creating an inner and an outer harbor that are not connected. This would allow construction of an access ramp (and possibly a drive down ramp) for the outer harbor accessed from the Ford property. While this would reduce the amount of moorage available in North Cove and would create some navigation issues that would have to be resolved it has some strong benefits as well. This change could have the benefits of shortening the distance from parking to boats for boats moored in the outer harbor area; allowing for construction of a drive down ramp for gear loading; and creating additional parking area. The Ford property could also be used as overflow or long term parking for the harbor without modifying the float or constructing a new access but users would have to make their way back to the existing access point to access the floats.
2. Jetty/Breakwater (item 3 on the attached drawing). If the city purchases the Ford property it gains access to additional tideland area. The harbor department has talked about the advantages of having a jetty that could be used for moorage and for loading/unloading boats. Ownership of the Ford property would give the city the opportunity to develop a jetty projecting north from the property. The east side of the jetty could be constructed with sheet pile and would allow for moorage. The jetty would be filled and finished so that vehicles could drive out the jetty but the west side could be constructed as a rubble mound fill structure. A new jetty in this location would also serve as a protective breakwater for that section of North Cove that is still exposed to the west.
3. Seaplane terminal parking (item 4 on the attached drawing). Seaplane parking and access has long been an issue, particularly for longer term parking. Purchase of the Ford property would allow the city to expand the parking lot for the seaplane terminal. In addition to parking, the access on the west side of the terminal is very narrow and currently allows for only one way traffic at a time.

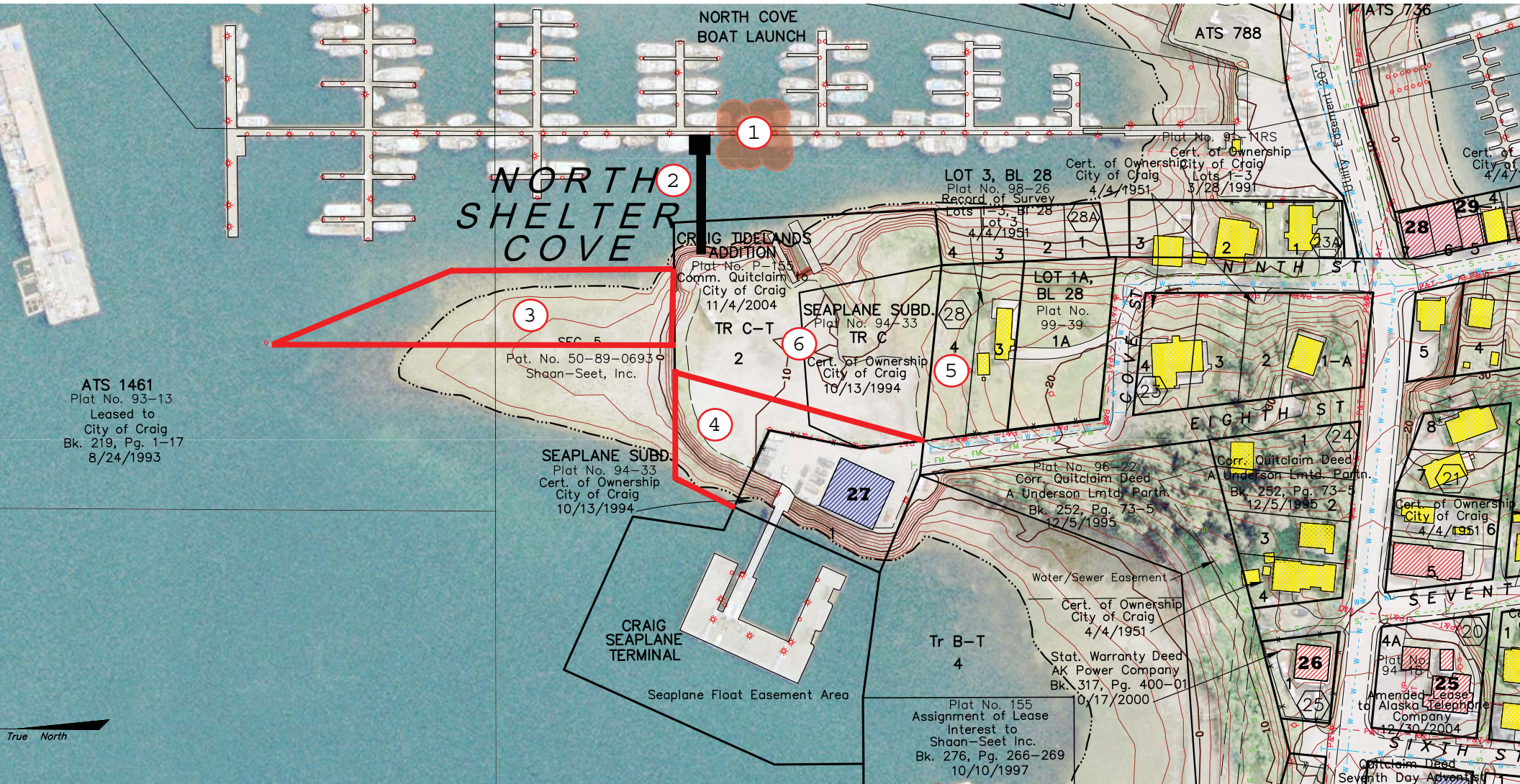
Ownership of the Ford property would give us the opportunity to expand the access road to the parking lot for two way traffic.

4. Residential lot (area 5 shown on the attached drawing). The Ford property consists of three distinct parcels. One of the parcels (Lot 4, Block 28, USS 1430) is currently zoned residential-high density. If the city purchases the Ford property it could opt to immediately take bids on the purchase of this residential parcel and dispose of the parcel. The city currently owns the small tideland lot seaward of this residential lot and could also choose to include it in the sale to allow for development of a small private dock similar to the dock installed for the condominiums on the adjacent tideland.

These are some suggestions for how the city might use the property if the council decides to purchase it. The city would not be obligated to all of these uses and could propose other uses. The city could also decide to use a portion of the property for some or all of these uses and subdivide and dispose of some of the property through land sales.

This is provided for information only for the council. No action is necessary at this time.

Tract C, Tract CT and Lot 4 (Ford Property)
 Potential City Development of Property
 Concept Drawing 4/7/14



1. Remove 70'-80' section of existing float.
2. Construct new pier, ramp and landing area to access northern floats.
3. Construct new jetty/breakwater. Sheet pile on north side, rubble mound on south side.
4. Add area and reconfigure Seaplane Terminal parking.
5. Existing residential lot can be sold or replatted and rezoned to expand usable area.
6. Create parking and support structure for northern float system.

**CITY OF CRAIG
MEMORANDUM**

To: Craig Mayor and City Council
From: Brian Templin, City Planner
Date: April 4, 2014
RE: Craig Firehall 95% Design Review

As the council knows we have been working through the design process with Jensen Yorba Lott, Inc. for a new firehall here in Craig. JYL has completed the 95% design for the firehall and the 95% construction specifications. Staff (including the planner, fire department, EMS department, parks and public facilities, police department and city administrator) has started reviewing the design drawings and plans to meet with JYL by teleconference on May 2, 2014 at noon.

I would like the council to have an opportunity to review the design set and make any comments before our meeting with JYL on May 2nd. I have provided a hard copy of the design sets for all council members. Please take some time to look them over and provide any comments at the April 17th council meeting.

The firehall as designed is estimated to cost approximately \$3.8 million (including all sitework and building equipment). Currently we do not have construction funding.

I will be on vacation until April 29th. At that time I will compile comments from staff and from the council and submit them to JYL in preparation for the meeting May 2nd. If you have questions about the process before I return please contact Jon.

A copy of this memo will be included in the meeting packet for the April 17, 2014 council meeting.

Recommendation: Review the Craig Firehall 95% Design drawings and provide comments to staff.

City of Craig

FIRE HALL

Craig, Alaska
APRIL 2014

95% REVIEW SET

ARCHITECT
JENSEN YORBA LOTT, INC
522 WEST 10TH STREET
JUNEAU, ALASKA 99801
(907) 586-1070
FAX (907) 586-3959

CIVIL ENGINEER
R&M ENGINEERING - KETCHIKAN
355 CARLANNA LAKE RD., SUITE 200
KETCHIKAN, ALASKA 99901
(907) 225-7917

STRUCTURAL ENGINEER
PND ENGINEERS, INC.
CONSULTING ENGINEERS
9360 GLACIER HIGHWAY, SUITE 100
JUNEAU, ALASKA 99801
(907) 586-2093
FAX (907) 586-2099

MECHANICAL ENGINEER
MURRAY & ASSOCIATES, P.C.
P.O. BOX 21081
JUNEAU, ALASKA 99802
(907) 780-6151
FAX (907) 780-6182

ELECTRICAL ENGINEER
BEGENYI ENGINEERING, LLC
217 2ND STREET, SUITE 208
JUNEAU, AK 99801
(907) 586-5900
FAX (907) 586-5901

SHEET INDEX

A001 COVER SHEET
A002 CODE SUMMARY, FINISH SCH, PARTITION TYPES, ABBREVIATIONS, & SYMBOLS
A003 OPENING TYPES, WINDOW TYPES, & SCHEDULE

A101 SITE PLAN

A201 FIRST FLOOR PLAN
A202 SECOND FLOOR
A203 ROOF PLAN

A301 EXTERIOR ELEVATIONS
A302 EXTERIOR ELEVATIONS
A303 BUILDING SECTIONS
A304 BUILDING SECTION
A305 WALL SECTIONS

A401 ENLARGED FLOOR PLANS
A402 ENLARGED FLOOR PLAN & INTERIOR ELEVATION

A500 STANDARD FIXTURE HEIGHTS & CLEARANCES
A501 INTERIOR ELEVATIONS
A502 INTERIOR ELEVATIONS

A601 FIRST FLOOR REFLECTED CEILING PLAN
A602 SECOND FLOOR REFLECTED CEILING PLAN

A701 STAIR SECTIONS

A801 DETAILS
A802 DETAILS

A901 INTERIOR DETAILS
A902 INTERIOR DETAILS

C100 EXISTING CONDITIONS
C101 SITE PLAN

C200 GRADING AND DRAINAGE

C300 UTILITY PLAN

C400 WATER DETAILS
C401 STORM AND SANITARY

NO DRAWINGS

M001 SYMBOLS & SCHEDULES

M100 OVERALL FOUNDATION FLOOR PLAN
M101 OVERALL FIRST FLOOR PLAN
M102 OVERALL SECOND FLOOR PLAN

M201 ENLARGED DECON 122 PLAN
M202 ENLARGED MENS 104 & WOMENS 105 PLAN
M203 ENLARGED MECH 114

M301 RADIANT PLAN

M401 DETAILS
M402 DETAILS
M403 DETAILS & DIAGRAMS

E001 LEGEND AND ABBREVIATIONS

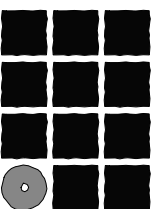
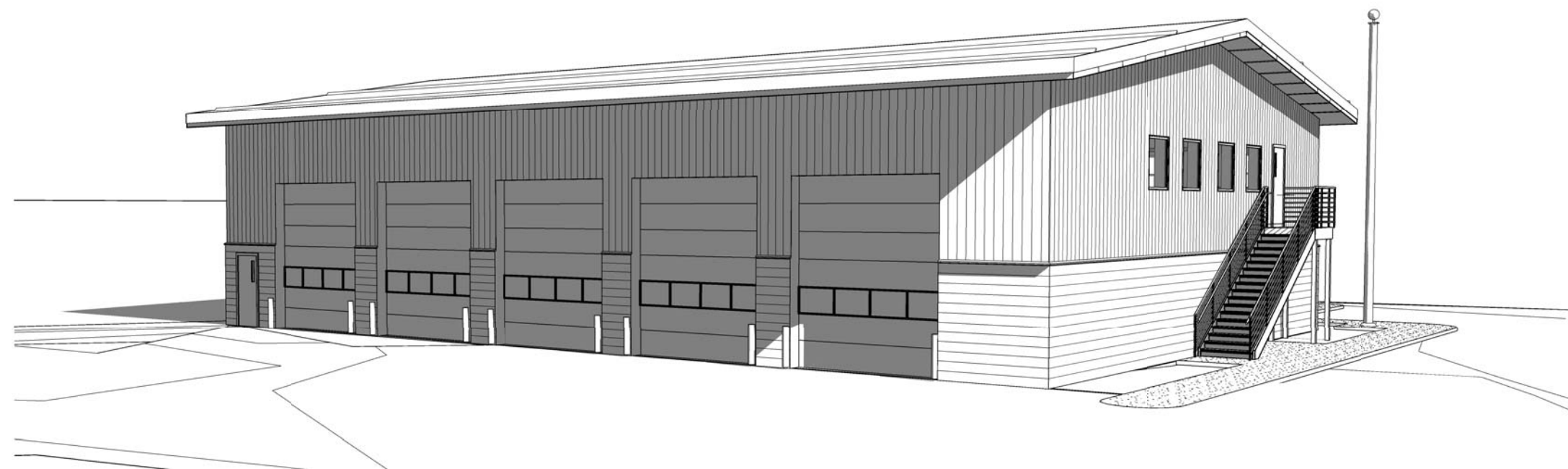
E101 SITE PLAN

E201 FIRST FLOOR POWER AND SIGNAL PLAN
E202 SECOND FLOOR POWER AND SIGNAL PLAN

E301 FIRST FLOOR LIGHTING PLAN
E302 SECOND FLOOR LIGHTING PLAN

E401 DETAILS

E501 SCHEDULES
E502 SCHEDULES



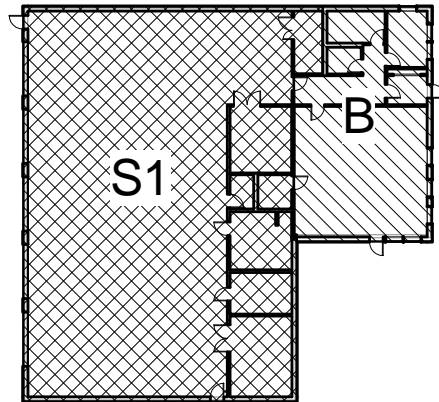
**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com
FILE: 13054

A001

CODE SUMMARY

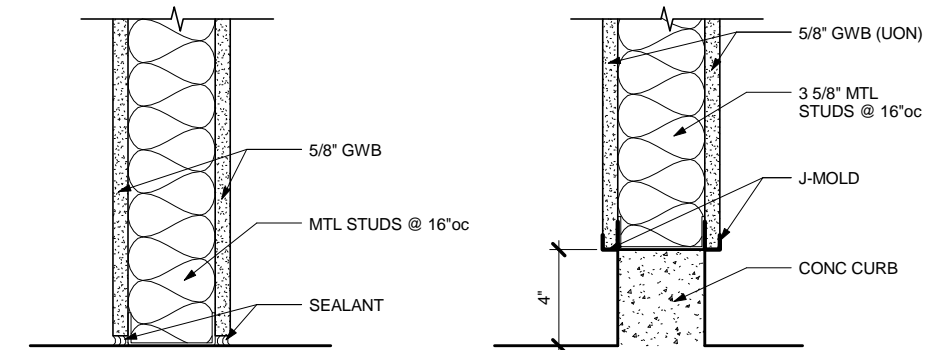
IBC 2009
 CONSTRUCTION TYPE VB
 OCCUPANCY TYPE B & S1
 BUILDING HEIGHT ALLOWABLE 40' - 0" - 1 STORY
 ACTUAL 27' - 0" - 1 STORY
 BUILDING AREA ALLOWABLE 9,000sf
 ACTUAL 6,400sf



FINISH SCHEDULE

| Room No. | Room Name | Floor Finish | Base | | Wainscot | | Walls | | | | Ceiling Finish | Comments | |
|----------|-------------------|--------------|--------|----|-------------|---------|-------|--------|--------|--------|----------------|----------|---------------|
| | | | Finish | Ht | Finish | Ht | North | East | South | West | | | |
| 102 | OFFICE | SV | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ACP | |
| 101 | VEST | WOM | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ACP | |
| 105 | WOMENS | SV | RUB | 4" | FRP | 8' - 0" | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ALL GWB IS MR |
| 104 | MENS | SV | RUB | 4" | FRP | 8' - 0" | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ALL GWB IS MR |
| 103 | CORRIDOR | SV | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ACP | |
| 106 | TRAINING ROOM | SV | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ACP | |
| 107 | APPARATUS BAY | SLR | RUB | 4" | 3/4" PWD/PT | 8' - 0" | PT | PT | PT | PT | NONE | | PT STRUCT |
| 108 | EMS STORAGE | SLR | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | |
| 109 | STORAGE | SLR | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | |
| 110 | TOILET | SV | RUB | 4" | FRP | 8' - 0" | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ALL GWB IS MR |
| 111 | TRAINING STORAGE | SLR | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | |
| 112 | DECON | SLR | RUB | 4" | FRP | 8' - 0" | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ALL GWB IS MR |
| 113 | SCBA | SLR | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | |
| 114 | MECH/ ELEC/ GEN | SLR | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | GWB/PT | ALL GWB IS MR |
| 201 | STORAGE MEZZANINE | SLR | RUB | 4" | | | | NONE | GWB/PT | GWB/PT | NONE | NONE | |
| 202 | MECH MEZZANINE | SLR | RUB | 4" | | | | GWB/PT | GWB/PT | GWB/PT | GWB/PT | NONE | |

PARTITION TYPES



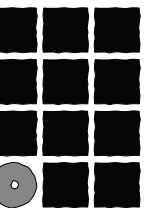
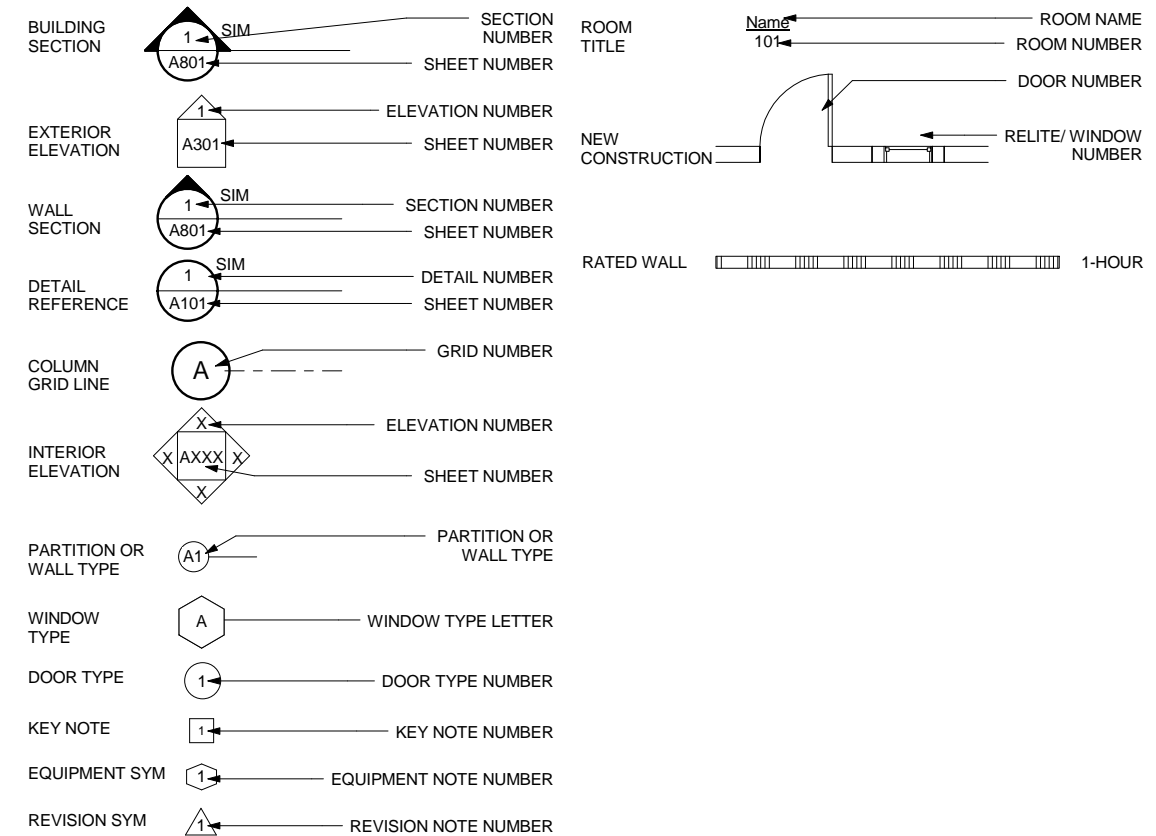
A MTL STUD PARTITION
 3 5/8" MTL STUDS @ "A1" (TYP UON)
 6" MTL STUDS @ "A2"
 10" MTL STUDS @ "A3"

B MTL STUD PARTITION ON CONC CURB
 3 5/8" MTL STUDS @ "B1"
 6" MTL STUDS @ "B2"

ABBREVIATIONS

| | | | |
|--|-------------------------------|-----------------------------|--------------------------------|
| AC ANGLE | ENCL EMEREMERGENCY ENCLOSURE | LAB LABORATORY | RH ROBE HOOK |
| ACM ASPHALT CONCRETE | EPS EXPANDED POLYSTYRENE | LAM LAMINATE | RL RAIN LEADER |
| ACP ACOUSTICAL CEILING PANEL | EQ EQUAL | LAV LAVATORY | RM ROOM |
| ADJ ADJUSTABLE | EQP EQUIPMENT | LB POUND | RO ROUGH OPENING |
| AFF ABOVE FINISH FLOOR | EX EXISTING | LT LIGHT | RUB RUBBER |
| AIB AIR INFILTRATION BARRIER | EXT EXTERIOR | MIR MIRROR | SASU SELF ADHERING SHEET |
| AL ALUMINUM | FA FIRE ALARM | MAX MAXIMUM | SCD SEAT COVER DISPENSER |
| APPROX APPROXIMATE | FD FLOOR DRAIN | MDO MEDIUM DENSITY OVERLAID | SCHED SCHEDULE |
| ARCH ARCHITECTURAL | FDN FOUNDATION | MECH MECHANICAL | SF SQUARE FOOT |
| ASB ASBESTOS | FEC FIRE EXTINGUISHER CABINET | MFR MANUFACTURER | SHR SHOWER |
| BD BOARD | FF FINISH FLOOR | MH MANHOLE | SHTH SHEATHING |
| BLDG BUILDING | FHC FIRE HOSE CABINET | MIN MINIMUM | SIM SIMILAR |
| BLK BLOCK | FIN FINISH | MISC MISCELLANEOUS | SND SANITARY NAPKIN DISPENSER |
| BLKG BLOCKING | FLASH FLASHING | MR MOISTURE RESISTANT | SNR SANITARY NAPKIN RECEPTACLE |
| BM BEAM | FLR FLOOR | MTD MOUNTED | SPEC SPECIFICATIONS |
| BOT BOTTOM | FOC FACE OF CONCRETE | MTL METAL | SQ SQUARE |
| CAB CABINET | FOF FACE OF FINISH | MUL MULLION | STD STANDARD |
| CB CATCH BASIN | FOS FACE OF STUD | NIC NOT IN CONTRACT | STL STEEL |
| CEM CEMENT | FRP (GLASS) FIBER REINFORCED | NO OR # NUMBER | STOR STORAGE |
| CG CORNER GUARD | PLASTIC | NOM NOMINAL | STRUCT STRUCTURAL |
| CI CAST IRON | FRPF FIREPROOF | NOM NOMINAL | SS STAINLESS STEEL |
| CLG CEILING | FR FIRE RETARDANT | NTS NOT TO SCALE | SUSP SUSPENDED |
| COL COLUMN | FT FOOT OR FEET | OA OVERALL | TB TOWEL BAR |
| CONC CONCRETE | FTG FOOTING | OC ON CENTER | TC TOP OF CURB |
| CONT CONTINUOUS | FURR FURRING | OD OUTSIDE DIAMETER | TEL TELEPHONE |
| CTR CENTER | GA GAUGE | OFCI OWNER FURNISHED | TEMP TEMPORARY |
| CTSK COUNTERSUNK | GALV GALVANIZED | OCF CONTRACTOR INSTALLED | T&G TONGUE & GROOVE |
| DBL DOUBLE | GB GRAB BAR | OFI OWNER FURNISHED | TOC TOP OF CONCRETE |
| DEPT DEPARTMENT | GL GLASS | OFD OVERFLOW DRAIN | TOD TOP OF DECK |
| DF DRINKING FOUNTAIN | GHM GALVANIZED HOLLOW | OFF OFFICE | TPD TOILET PAPER DISPENSER |
| DET DETAIL | GLV GALVANIZED HOLLOW | OPNG OFFICE | TRTD PRESSURE TREATED |
| DIA DIAMETER | GLB GALVANIZED HOLLOW | OPP OPPOSITE | TOW TOP OF WALL |
| DIM DIMENSION | GYP GYPSUM | OSB ORIENTED STRAND BOARD | TYP TYPICAL |
| DISP DISPENSER | HB HOSE BIBB | PL PLATE | UL UNDERWRITERS LABORATORIES |
| DN DOWN | HM HOLLOW METAL | PLAM PLASTIC LAMINATE | UNF UNFINISHED |
| DR DOOR | HORIZ HORIZONTAL | PLAS PLASTER | UON UNLESS OTHERWISE NOTED |
| DS DOWNSPOUT | HR HOUR | PC PRE-CAST | UR URINAL |
| DWG DRAWING | HT HEIGHT | PF PRE-FINISHED | VERT VERTICAL |
| DWR DRAWER | HW HARDWARE | PR PAIR | VEST VESTIBULE |
| EA EACH | ID INSIDE DIAMETER | PWD PLYWOOD | VR VAPOR RETARDER |
| EF EXHAUST FAN | IGHM INSULATED GALVANIZED | R RISER | VTR VENT THROUGH ROOF |
| EFIS EXTERIOR INSULATION & FINISH SYSTEM | HOLLOW METAL | RAD RADIUS | WC WATER CLOSET |
| EJ EXPANSION JOINT | INSUL INSULATION | RD ROOF DRAIN | WD WOOD |
| EL ELEVATION | INT INTERIOR | REF REFERENCE | WO WALK OFF MAT |
| ELEC ELECTRICAL | JAN JANITOR | REFR REFRIGERATOR | WP WATERPROOF/WALL PANEL |
| ELEV ELEVATOR | JT JOINT | REQ REQUIRED | WR WASTE RECEPTACLE |
| | | RESIL RESILIENT | WSCT WAINSCOT |

SYMBOLS

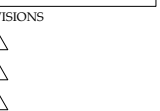


Jensen Yorba Lott Inc.

522 West 10th Street
 Juneau, Alaska 99801
 Phone 907-586-1070
 Fax 907-586-3959
 jensenyorbaltott.com

City of Craig
FIRE HALL
 Craig, Alaska

95% REVIEW SET

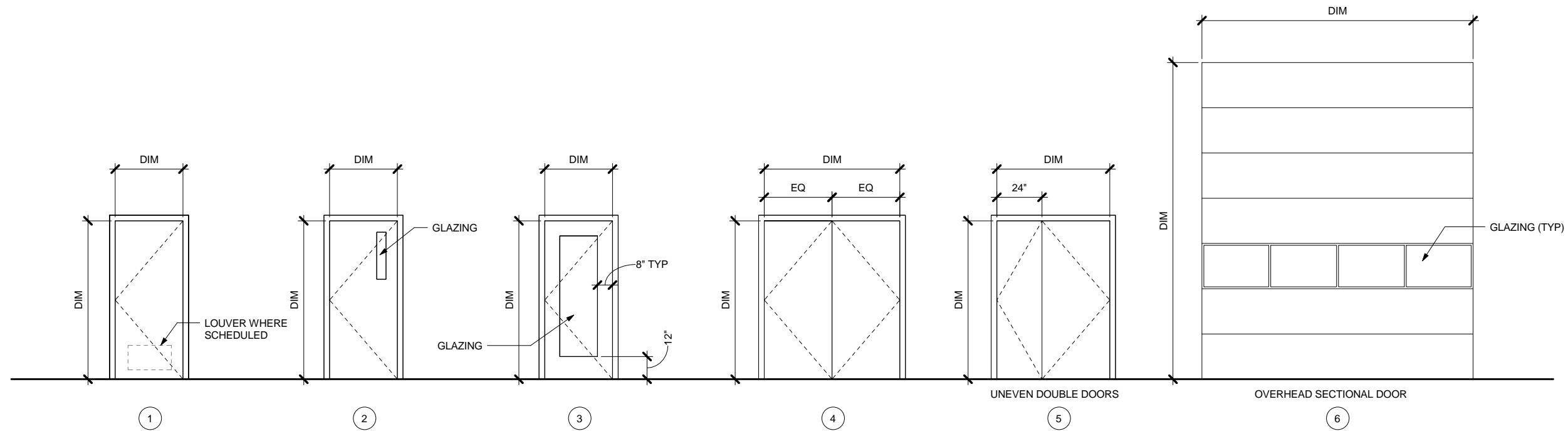


SHEET TITLE
 CODE SUMMARY,
 FINISH SCH,
 PARTITION TYPES,
 ABBREVIATIONS, &
 SYMBOLS

DATE: APRIL 2014
 FILE: 13054

A002

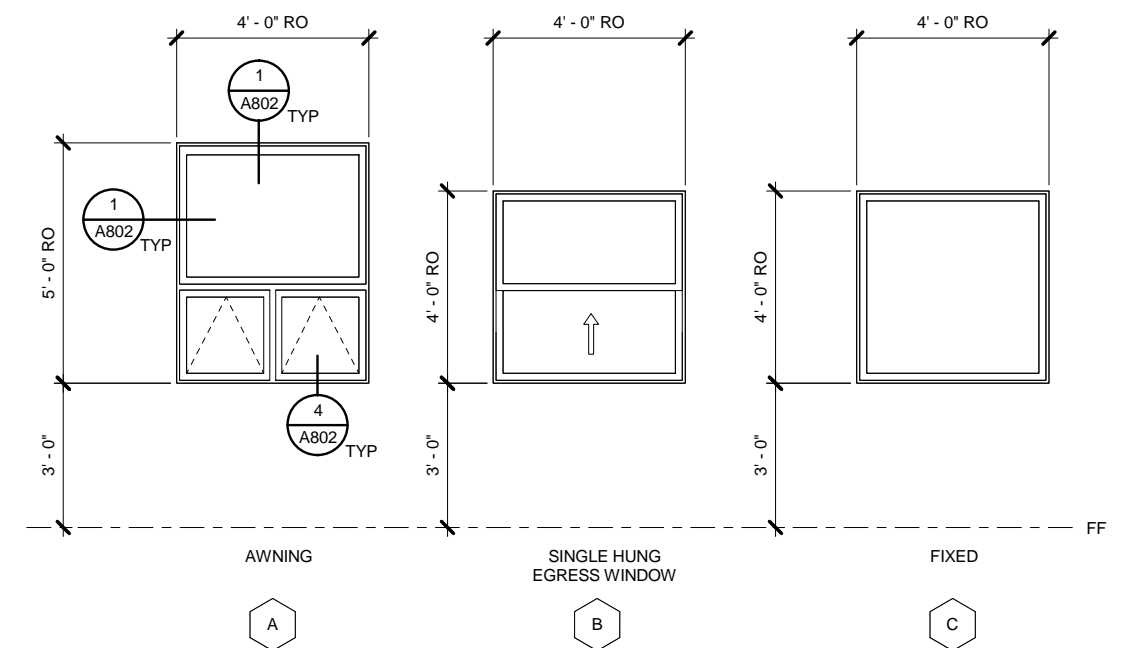
OPENING TYPES



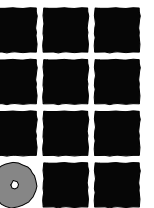
OPENING SCHEDULE

| Opening Schedule | | | | | | | | | | | | | | | |
|------------------|------|--------|--------|---------------|--------|----------|--------|-------|------|------------------|------------------|------------------|--------|---|---------|
| Opening | | | | Door | | Frame | | Glass | | Signage | | Details | | | Remarks |
| Number | Type | Width | Height | Door Material | Finish | Material | Finish | Type | Text | Door Jamb Detail | Door Head Detail | Door Sill Detail | HW | | |
| 101A | 3 | 3'-0" | 7'-0" | IGHM | PT | GHM | PT | GL-3 | - | | 2/A802 | 2/A802 | 5/A802 | 1 | |
| 101B | 3 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | GL-3 | - | | 1/A901 | 1/A901 | | 2 | |
| 102 | 2 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | GL-1 | A | OFFICE | 1/A901 | 1/A901 | | 3 | |
| 103 | 2 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | GL-1 | A | APPARATUS BAY | 1/A901 | 1/A901 | | 4 | |
| 104 | 1 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | | B | MEN | 1/A901 | 1/A901 | | 5 | |
| 105 | 1 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | | B | WOMEN | 1/A901 | 1/A901 | | 5 | |
| 106A | 2 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | GL-1 | A | TRAINING ROOM | 1/A901 | 1/A901 | | 4 | |
| 106B | 2 | 3'-0" | 7'-0" | IGHM | PT | GHM | PT | GL-1 | - | | 2/A802 | 2/A802 | 5/A802 | 1 | |
| 107A | 2 | 3'-0" | 7'-0" | IGHM | PT | GHM | PT | GL-2 | - | | 2/A802 SIM | 2/A802 SIM | 5/A802 | 1 | |
| 107B | 6 | 12'-0" | 14'-0" | | PF | | | GL-4 | - | | 3/A802 | 3/A802 | | 6 | |
| 107C | 6 | 12'-0" | 14'-0" | | PF | | | GL-4 | - | | 3/A802 | 3/A802 | | 6 | |
| 107D | 6 | 12'-0" | 14'-0" | | PF | | | GL-4 | - | | 3/A802 | 3/A802 | | 6 | |
| 107E | 6 | 12'-0" | 14'-0" | | PF | | | GL-4 | - | | 3/A802 | 3/A802 | | 6 | |
| 107F | 6 | 12'-0" | 14'-0" | | PF | | | GL-4 | - | | 3/A802 | 3/A802 | | 6 | |
| 107G | 2 | 3'-0" | 7'-0" | IGHM | PT | GHM | PT | GL-2 | - | | 2/A802 SIM | 2/A802 SIM | 5/A802 | 1 | |
| 108 | 5 | 5'-0" | 7'-0" | GHM | PT | GHM | PT | | A | STORAGE | 1/A901 | 1/A901 | | 7 | |
| 109 | 4 | 6'-0" | 7'-0" | GHM | PT | GHM | PT | | A | STORAGE | 1/A901 | 1/A901 | | 8 | |
| 110 | 1 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | | A | TOILET | 1/A901 | 1/A901 | | 5 | |
| 111 | 1 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | | A | STORAGE | 1/A901 | 1/A901 | | 8 | |
| 112 | 1 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | | A | DECONTAMINATION | 1/A901 | 1/A901 | | 5 | |
| 113 | 1 | 3'-0" | 7'-0" | GHM | PT | GHM | PT | | A | SCBA | 1/A901 | 1/A901 | | 8 | |
| 114 | 4 | 6'-0" | 7'-0" | GHM | PT | GHM | PT | | A | MECH/ELEC | 1/A901 | 1/A901 | | 8 | |
| 201 | 2 | 3'-0" | 7'-0" | IGHM | PT | GHM | PT | GL-2 | - | | 2/A802 | 2/A802 | 5/A802 | 1 | |
| 202 | 4 | 6'-0" | 7'-0" | GHM | PT | GHM | PT | | - | | 1/A901 | 1/A901 | | 8 | |

WINDOW TYPES



C:\Users\sduguman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguguman.rvt 4/1/2014 4:57:15 PM

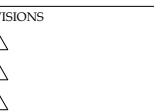


**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

**City of Craig
FIRE HALL**
Craig, Alaska

95% REVIEW SET



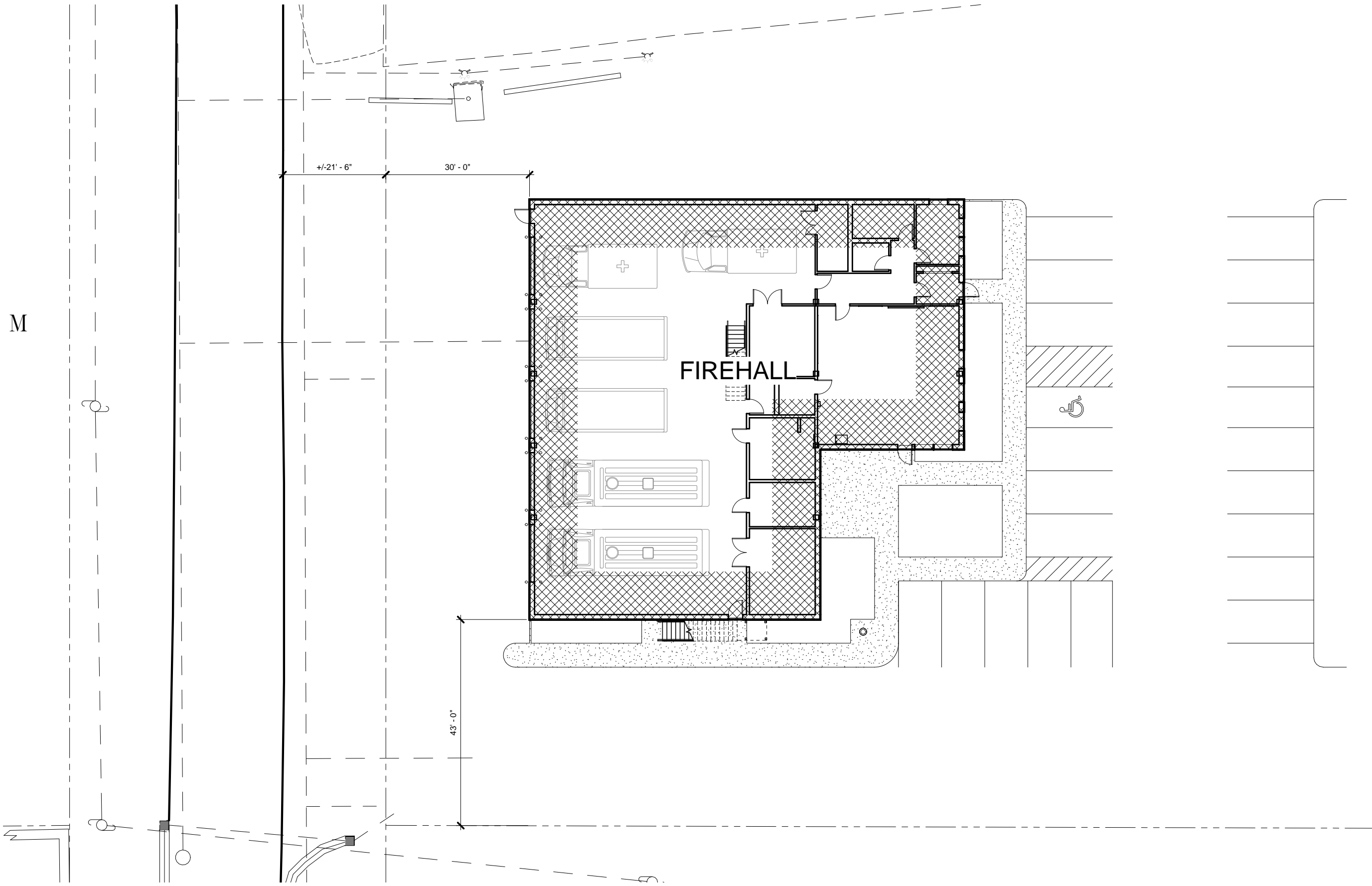
SHEET TITLE
OPENING TYPES,
WINDOW TYPES, &
SCHEDULE

DATE: APRIL 2014
FILE: 13054

A003

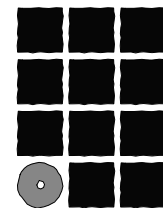
C:\Users\adgurman\Documents\My Revit Projects\13054 - Craig Firehall - CD_adgurman.rvt

4/12/2014 4:57:16 PM



1 SITE PLAN

SCALE: 0 5' 10' 20'



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

**City of Craig
FIRE HALL
Craig, Alaska**

95% REVIEW SET

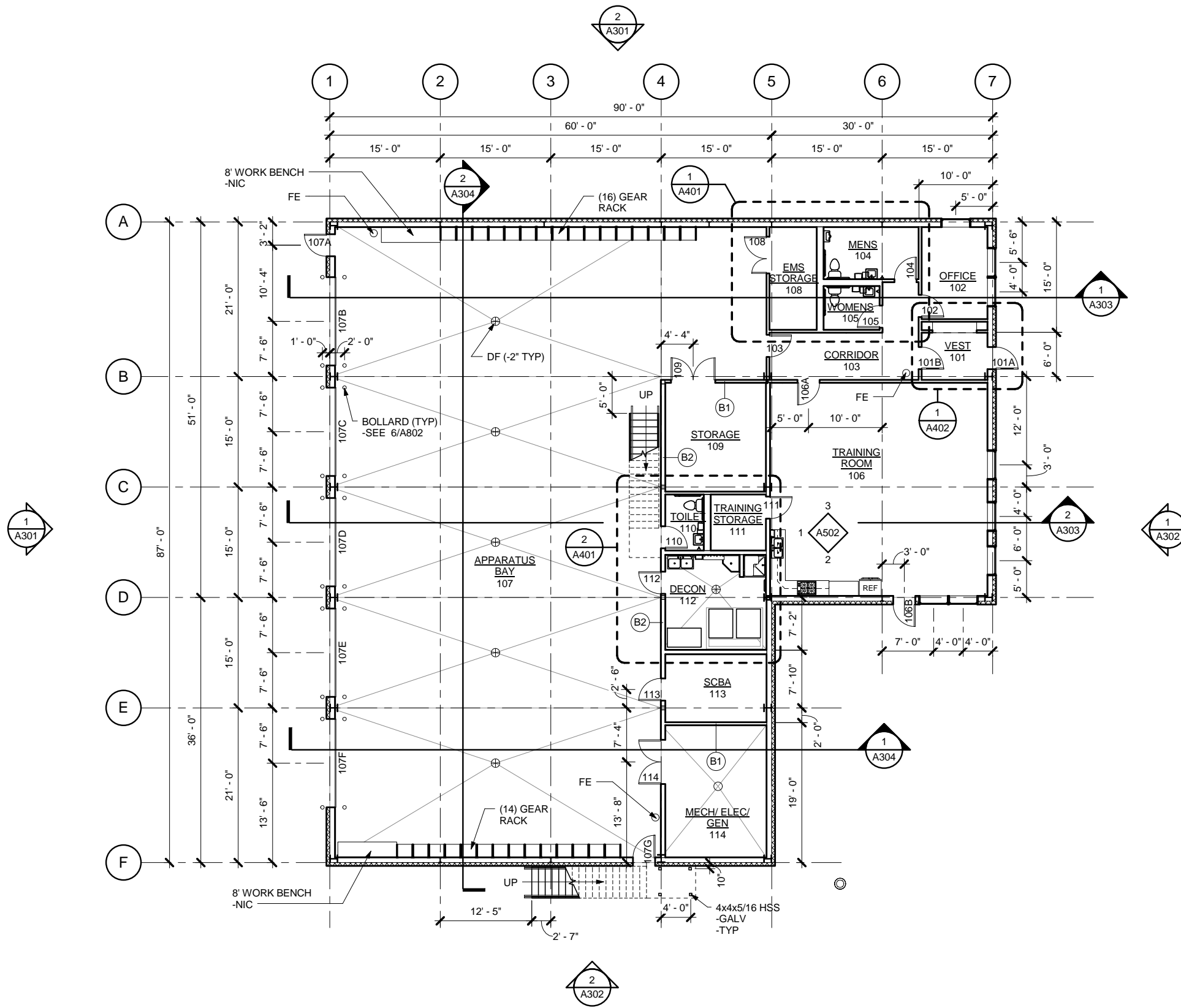
REVISIONS
 ▲
 ▲
 ▲

SHEET TITLE
 SITE PLAN

DATE: APRIL 2014
 FILE: 13054

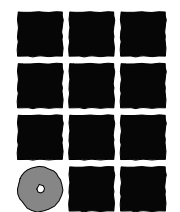
A101

C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt 4/1/2014 4:57:17 PM



1 FIRST FLOOR PLAN

SCALE: 0 4 8 16'

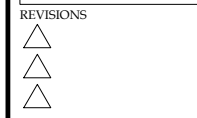


**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

**City of Craig
FIRE HALL
Craig, Alaska**

95% REVIEW SET

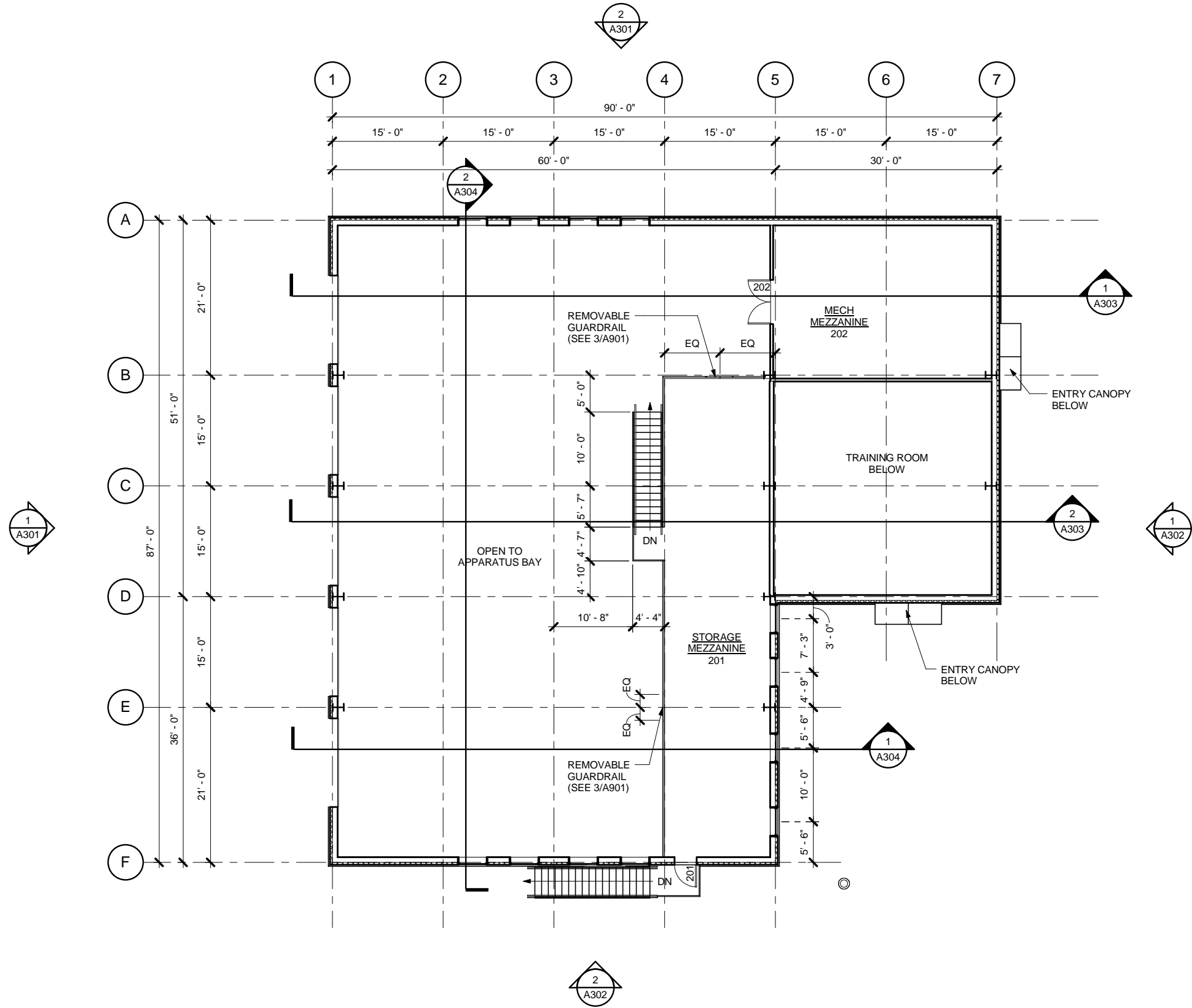


SHEET TITLE
FIRST FLOOR PLAN

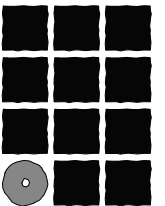
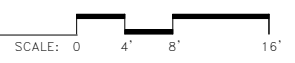
DATE: APRIL 2014
FILE: 13054

A201

C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt



1 SECOND FLOOR PLAN



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

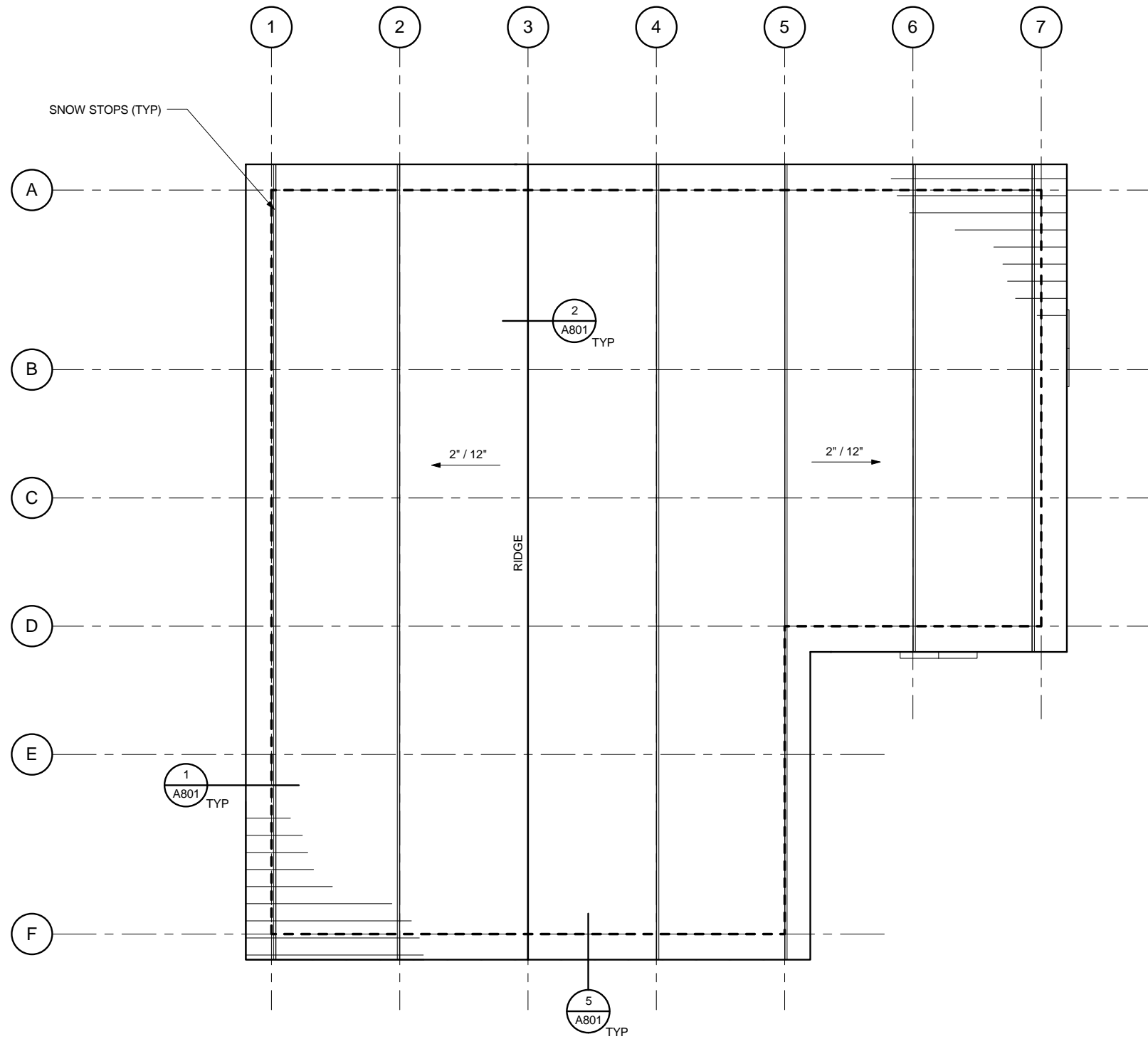
95% REVIEW SET

- REVISIONS
- △
 - △
 - △

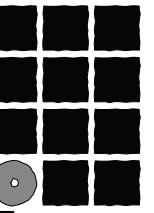
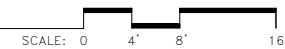
SHEET TITLE
SECOND FLOOR

DATE: APRIL 2014
FILE: 13054

A202



1 ROOF PLAN



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

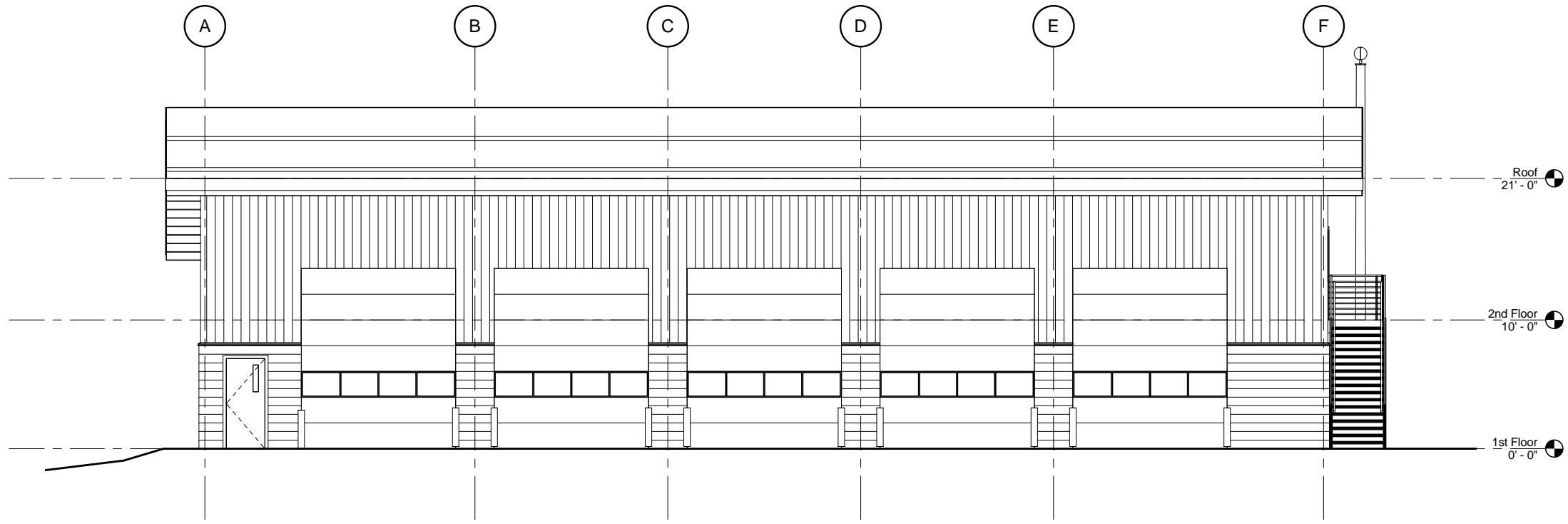
- REVISIONS
- △
 - △
 - △

SHEET TITLE
ROOF PLAN

DATE: APRIL 2014
FILE: 13054

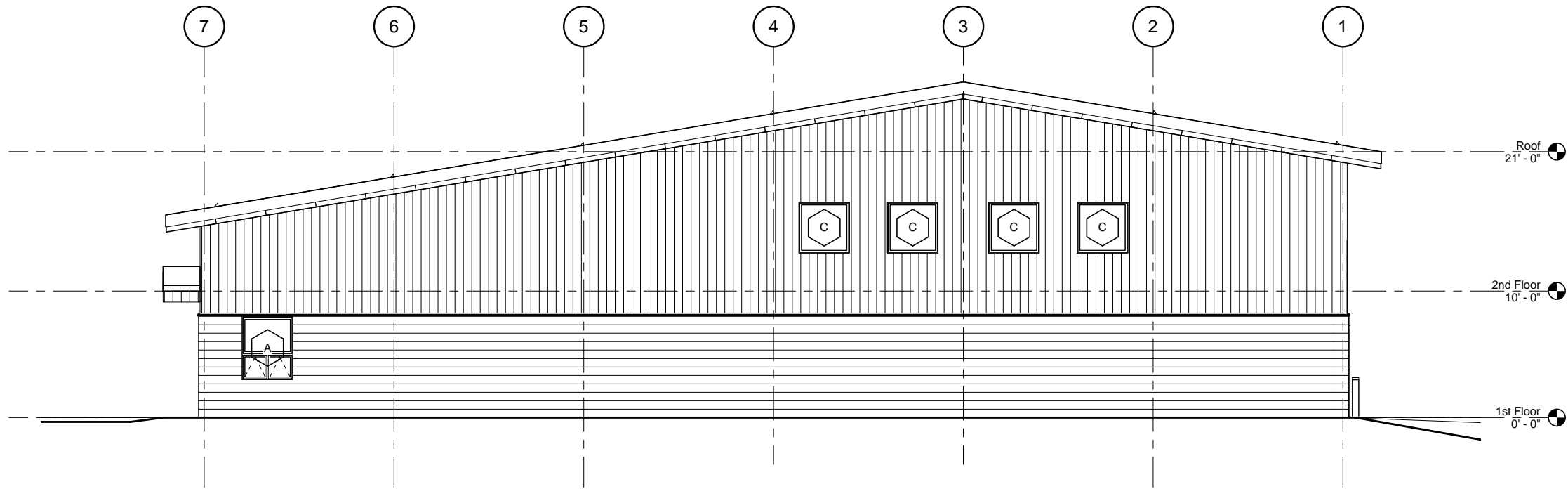
A203

C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt



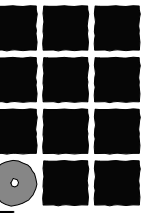
1 WEST ELEVATION

SCALE: 0 2' 4' 8' 16'



2 NORTH ELEVATION

SCALE: 0 2' 4' 8' 16'



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

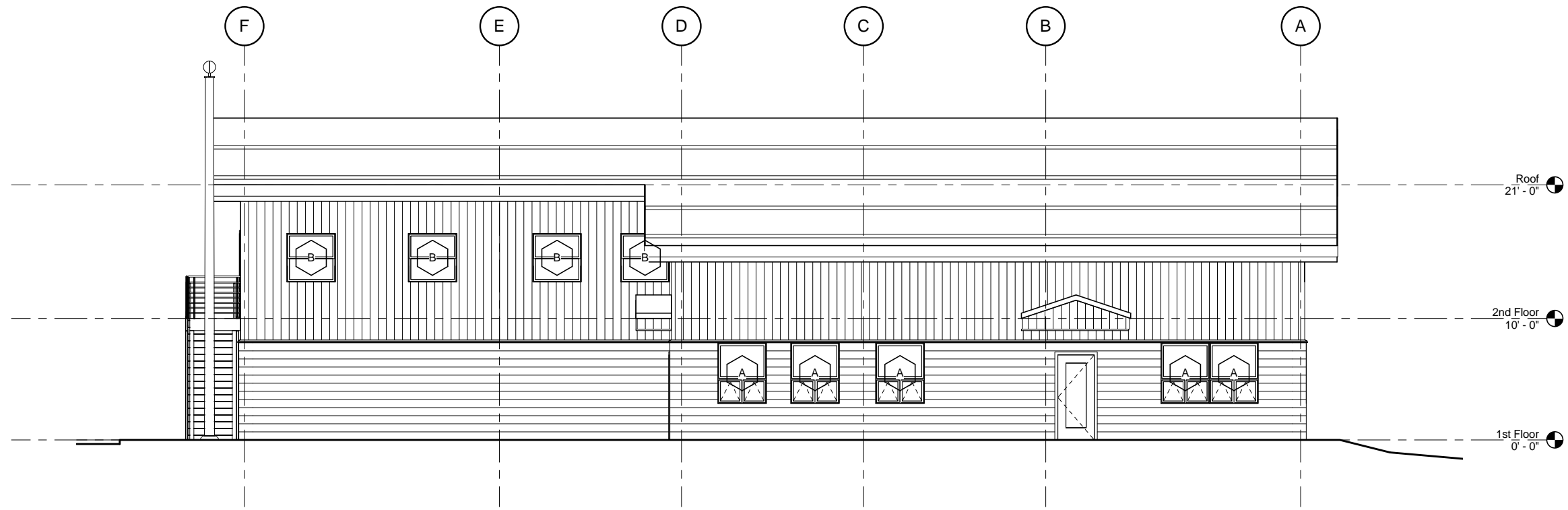
- REVISIONS
- △
 - △
 - △

SHEET TITLE
EXTERIOR
ELEVATIONS

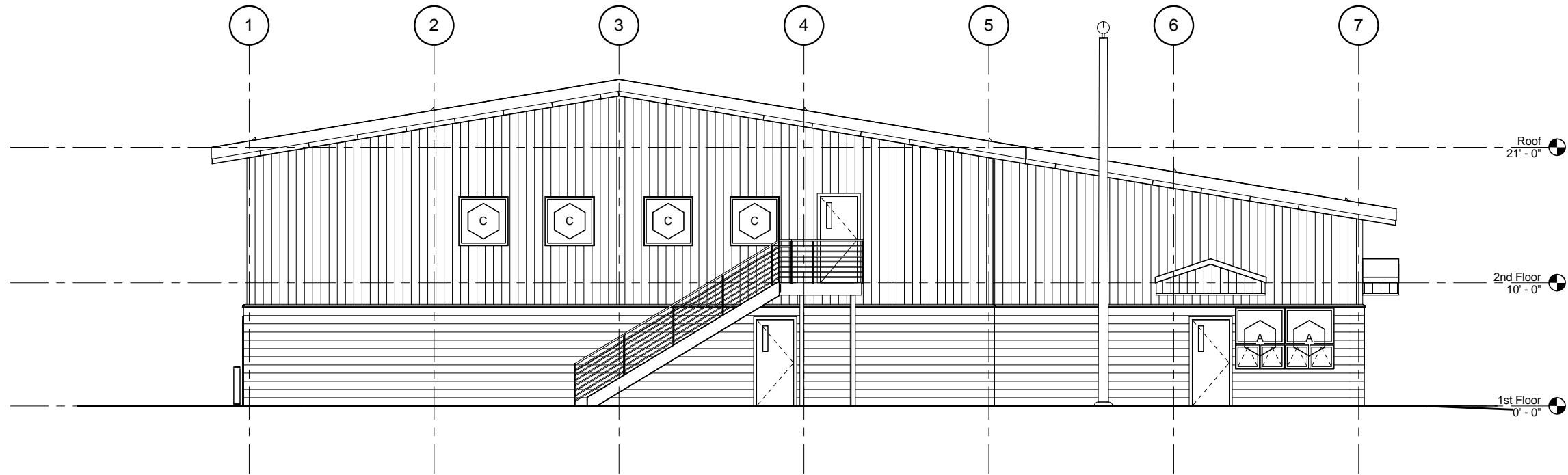
DATE: APRIL 2014
FILE: 13054

A301

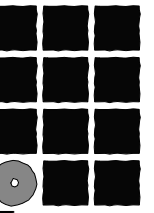
C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt



1 EAST ELEVATION



2 SOUTH ELEVATION



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

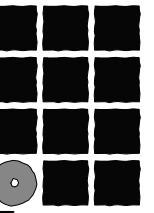
REVISIONS

- △
- △
- △

SHEET TITLE
EXTERIOR
ELEVATIONS

DATE: APRIL 2014
FILE: 13054

A302



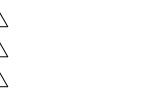
**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

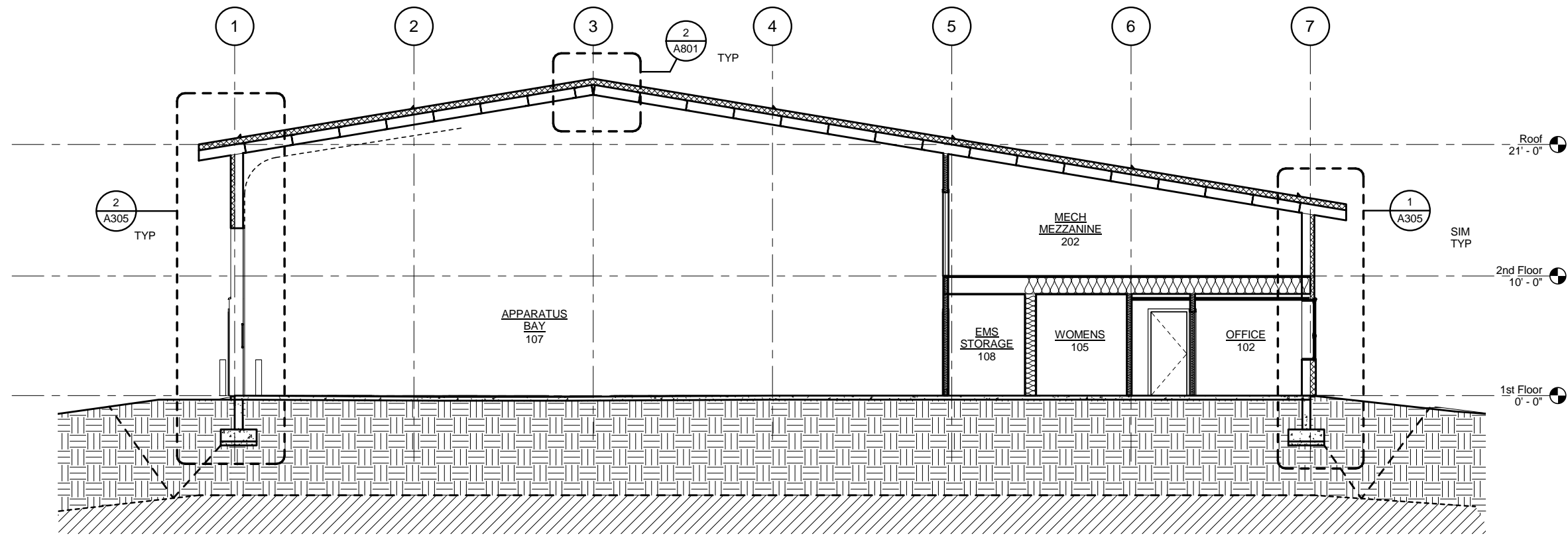
REVISIONS



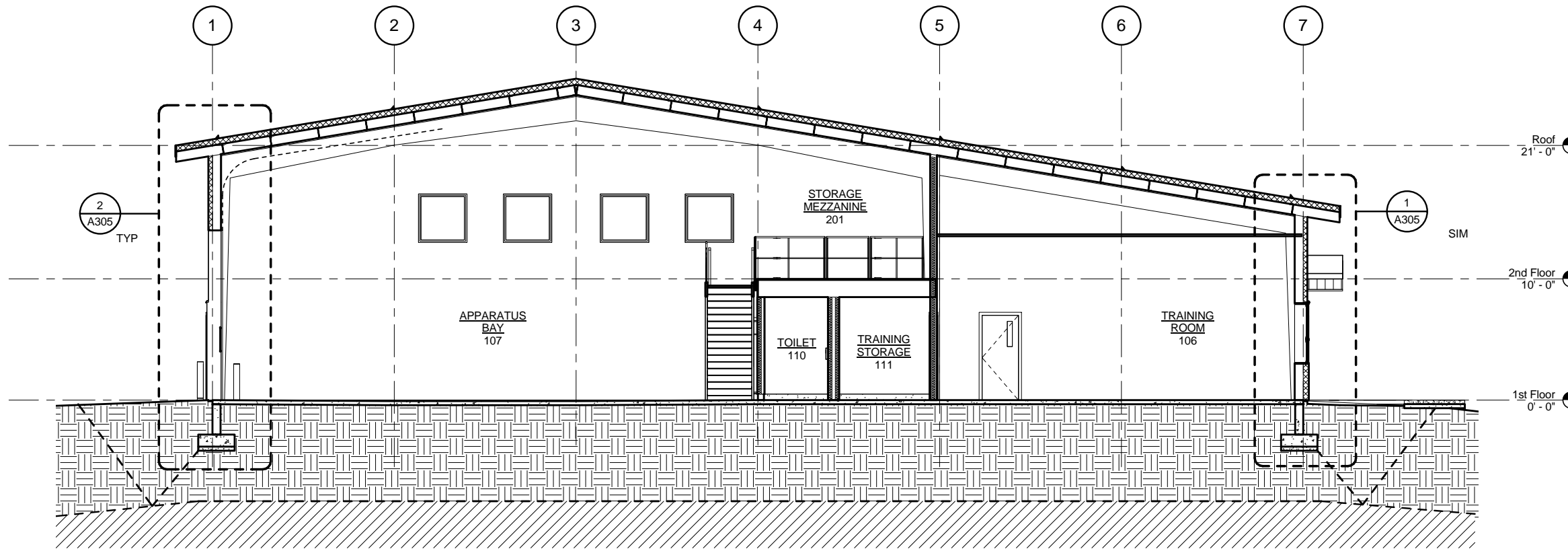
SHEET TITLE
**BUILDING
SECTIONS**

DATE: APRIL 2014
FILE: 13054

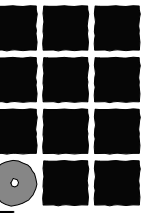
A303



1 BUILDING SECTION



2 BUILDING SECTION



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

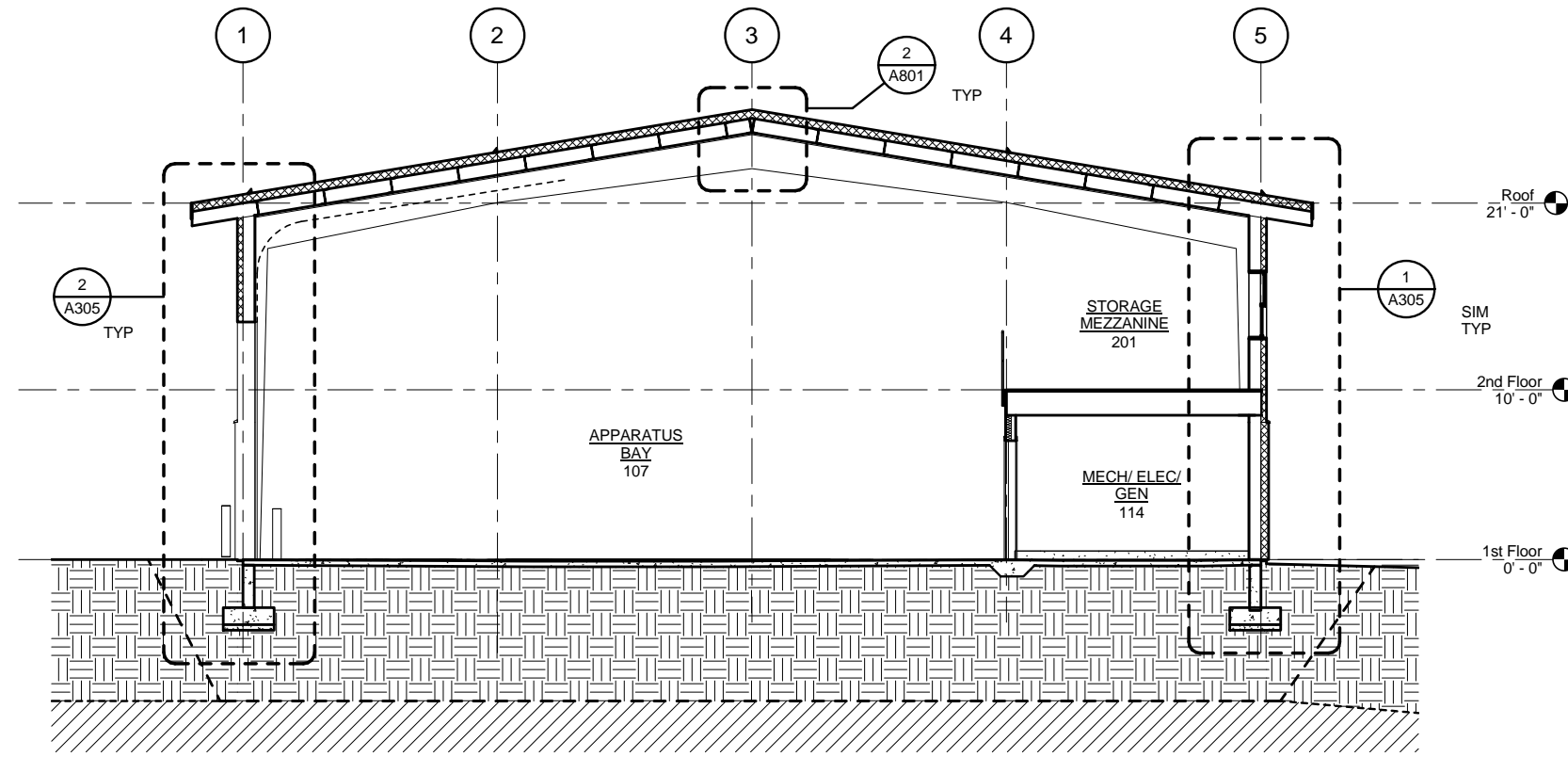
REVISIONS



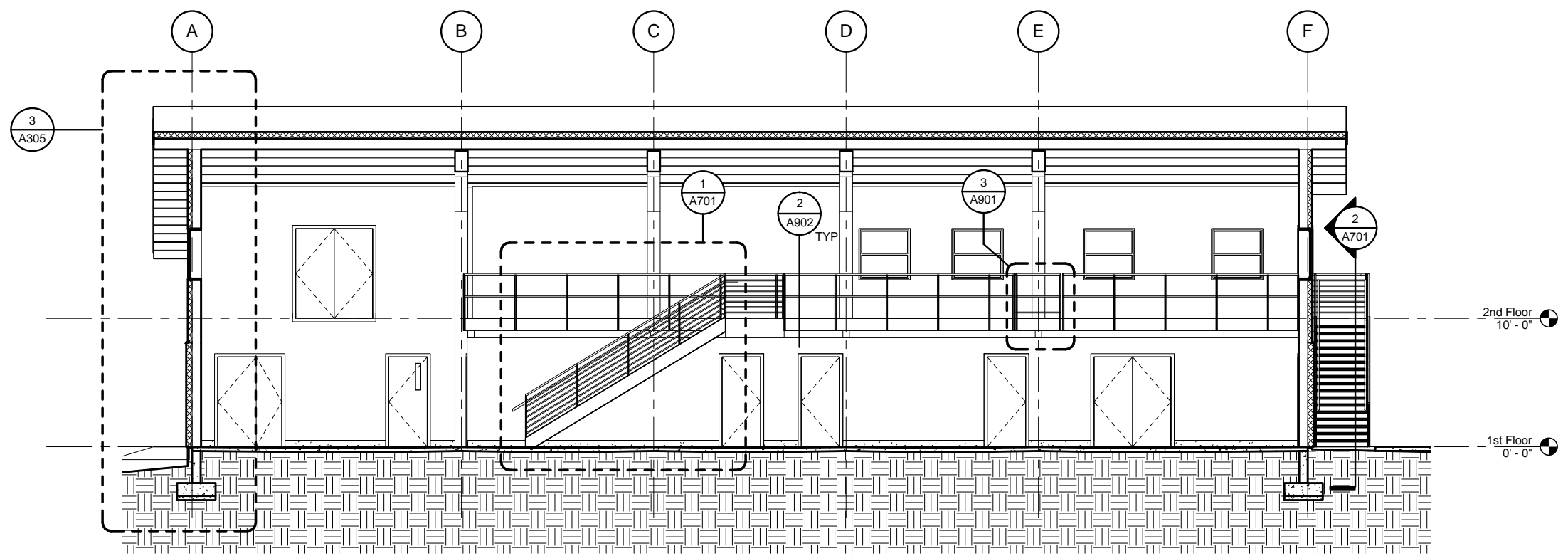
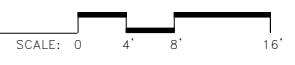
SHEET TITLE
BUILDING SECTION

DATE: APRIL 2014
FILE: 13054

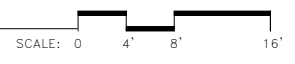
A304



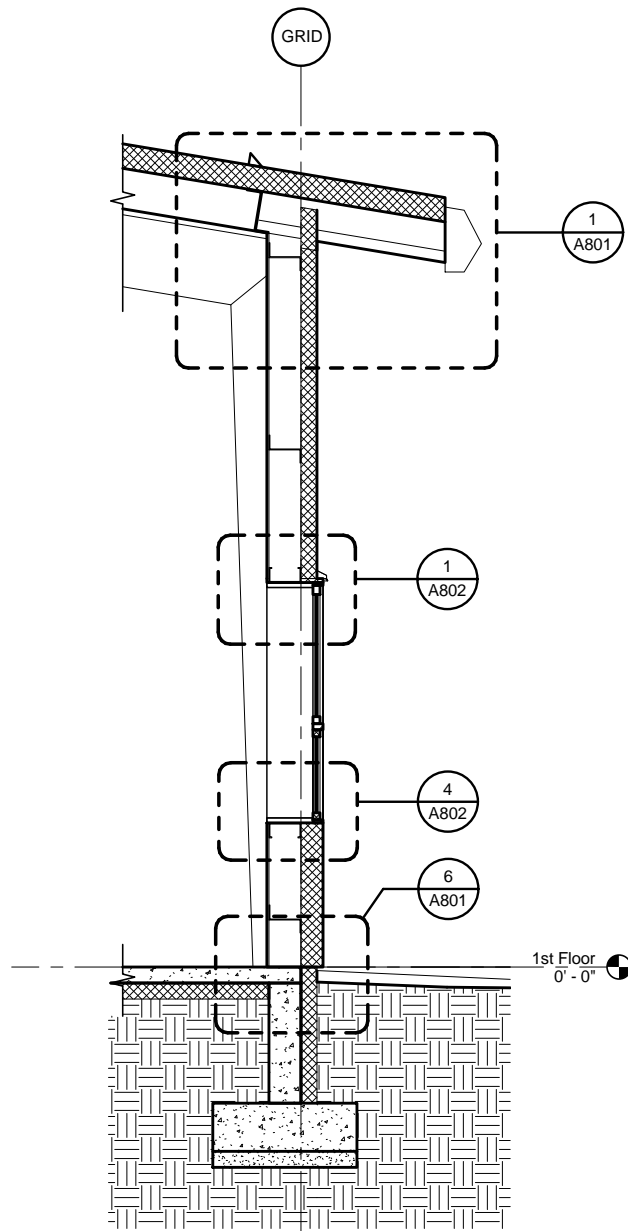
1 BUILDING SECTION



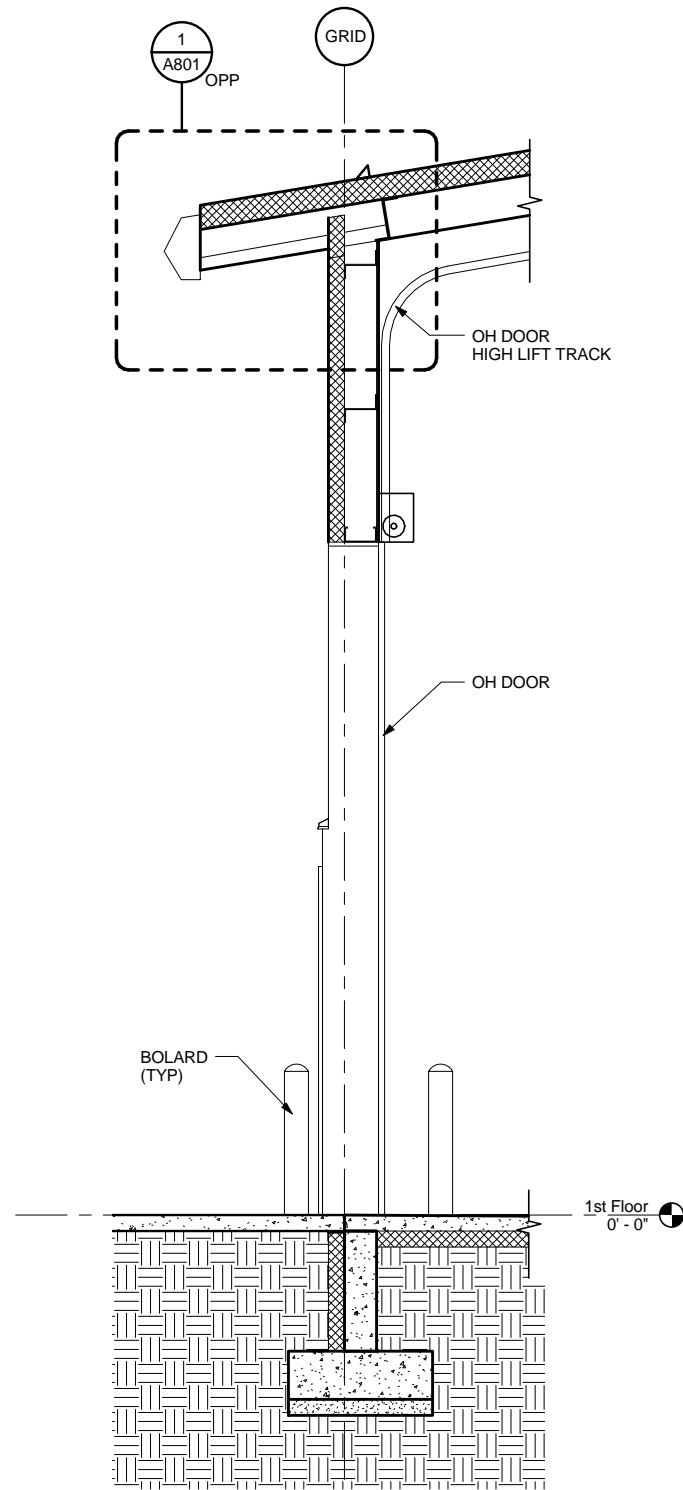
2 BUILDING SECTION



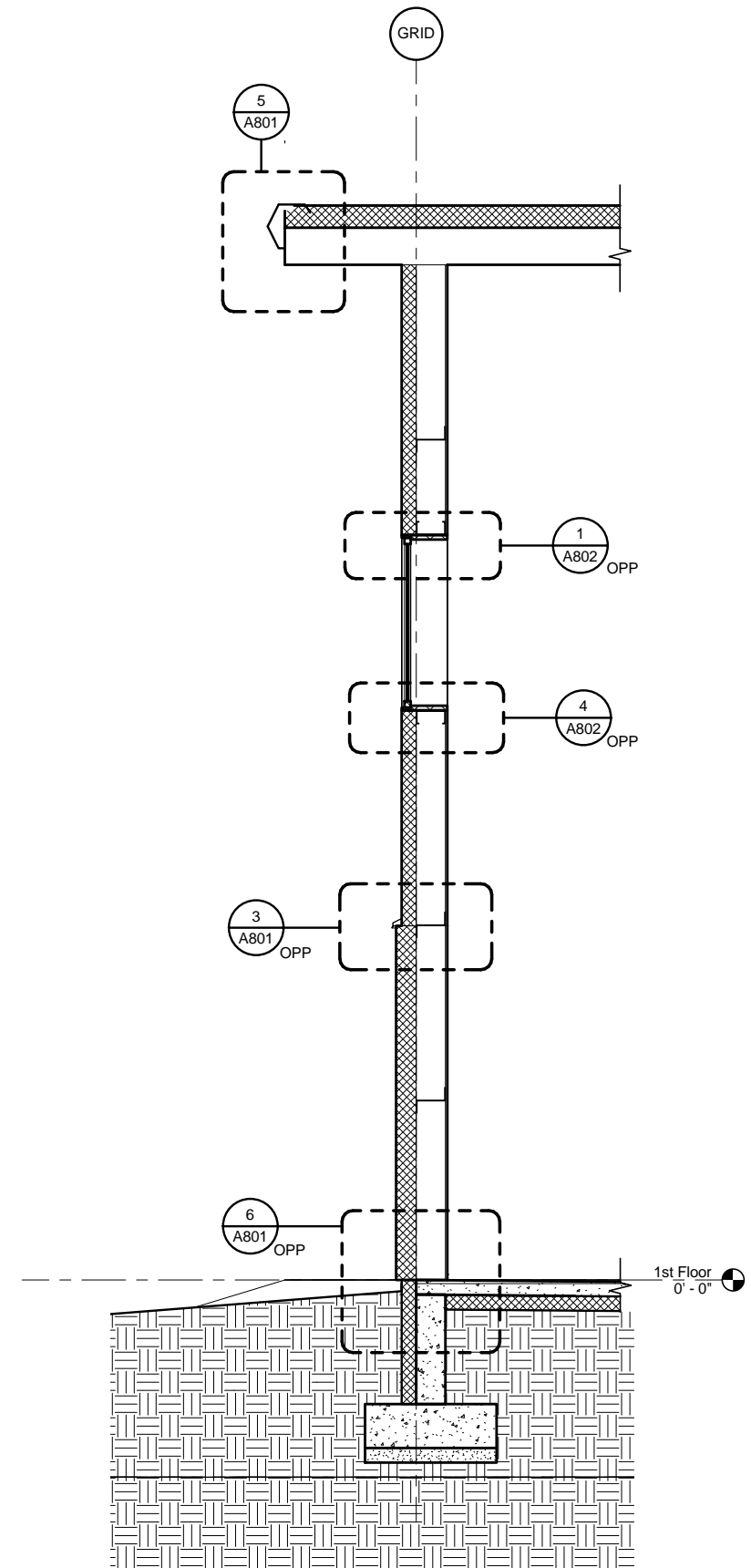
C:\Users\sdgumman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdgumman.rvt 4/1/2014 4:57:24 PM



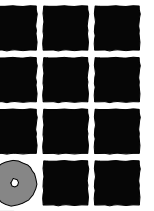
1 WALL SECTION SCALE: 0 1" 2"



2 WALL SECTION SCALE: 0 1" 2"



3 WALL SECTION SCALE: 0 1" 2"



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

**City of Craig
FIRE HALL
Craig, Alaska**

95% REVIEW SET

REVISIONS

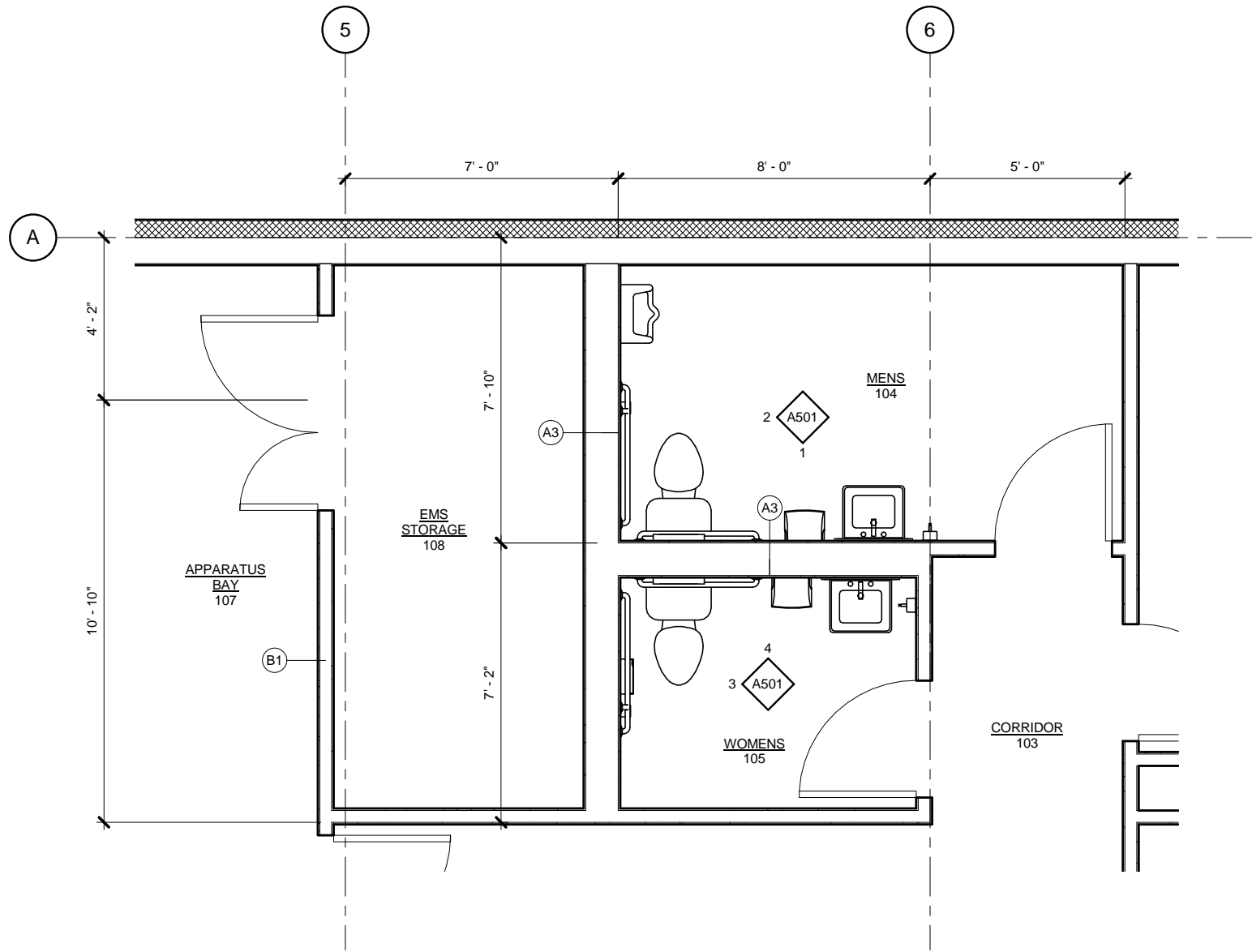


SHEET TITLE
WALL SECTIONS

DATE: APRIL 2014
FILE: 13054

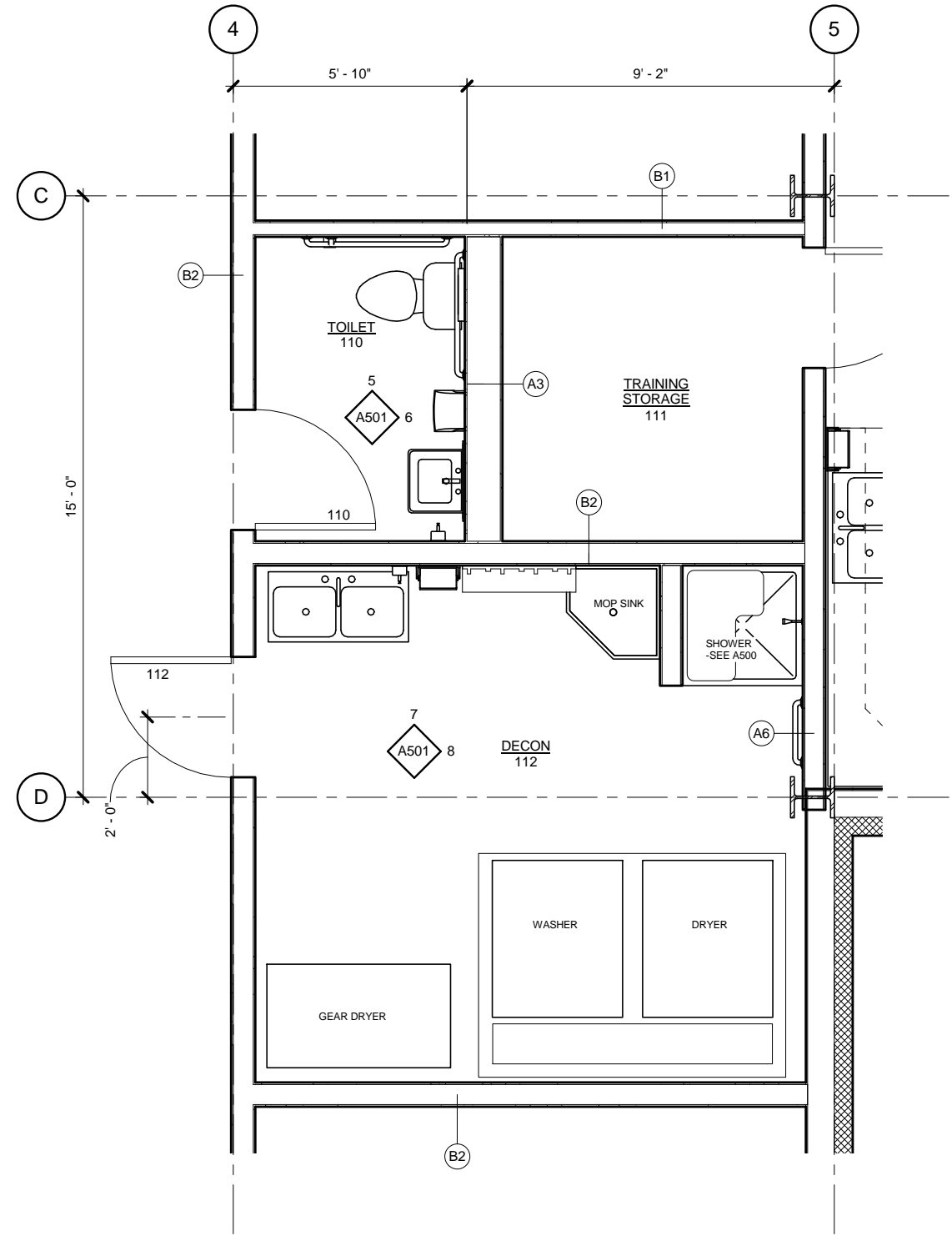
A305

C:\Users\sdgumman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdgumman.rvt 4/1/2014 4:57:25 PM



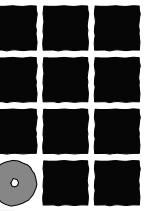
1 ENLARGED FLOOR PLAN

SCALE: 0 4' 8' 16'



2 ENLARGED FLOOR PLAN

SCALE: 0 4' 8' 16'



Jensen Yorba Lott Inc.

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

City of Craig
FIRE HALL
Craig, Alaska

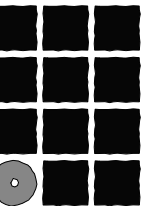
95% REVIEW SET

REVISIONS
▲
▲
▲

SHEET TITLE
ENLARGED FLOOR PLANS

DATE: APRIL 2014
FILE: 13054

A401



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

**City of Craig
FIRE HALL
Craig, Alaska**

95% REVIEW SET

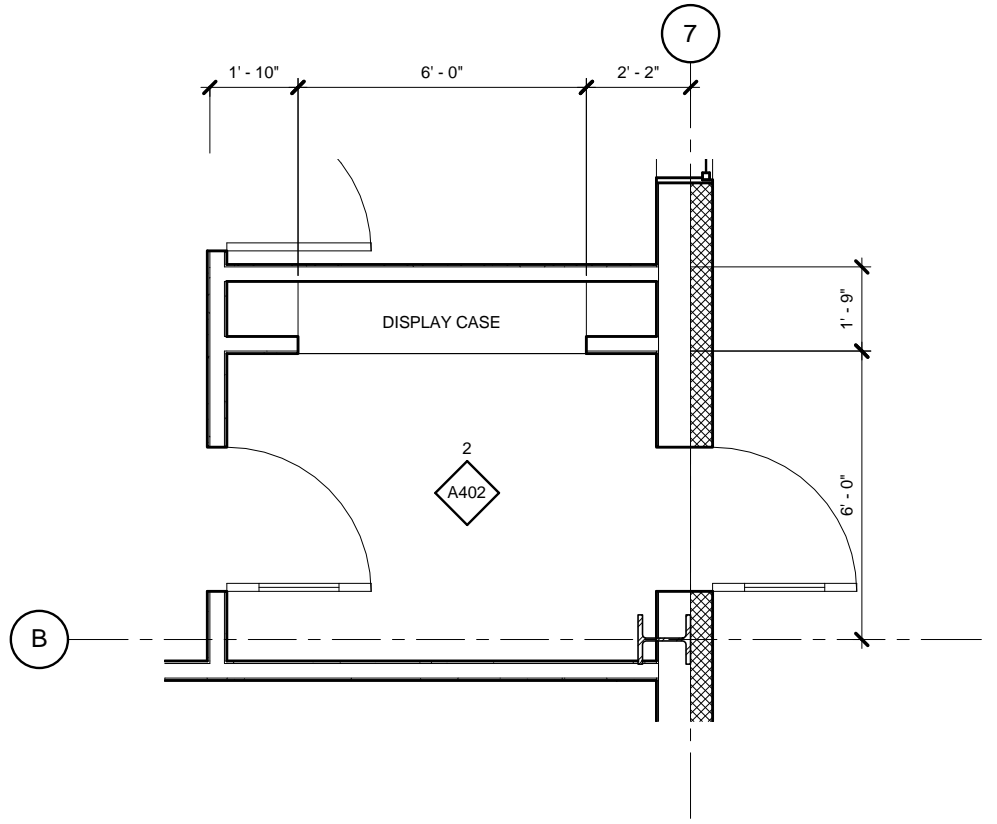
REVISIONS



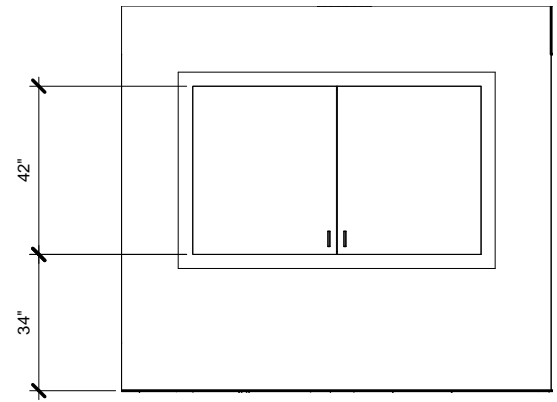
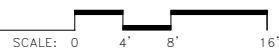
SHEET TITLE
**ENLARGED FLOOR
PLAN & INTERIOR
ELEVATION**

DATE: APRIL 2014
FILE: 13054

A402

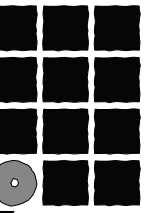


1 ENLARGED FLOOR PLAN



2 INTERIOR ELEVATION





**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

City of Craig
FIRE HALL
Craig, Alaska

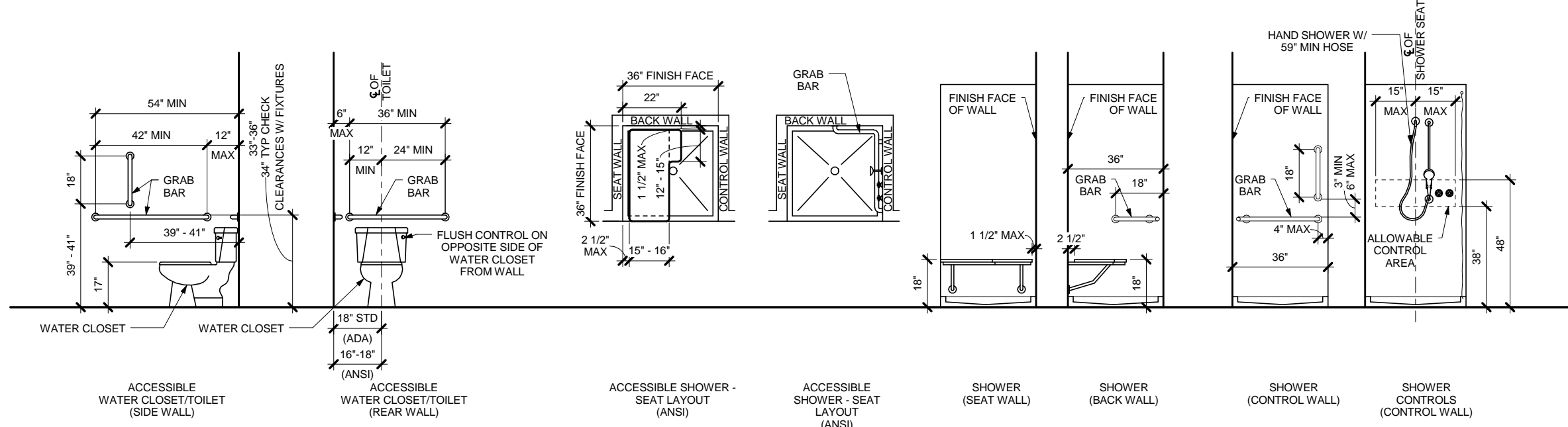
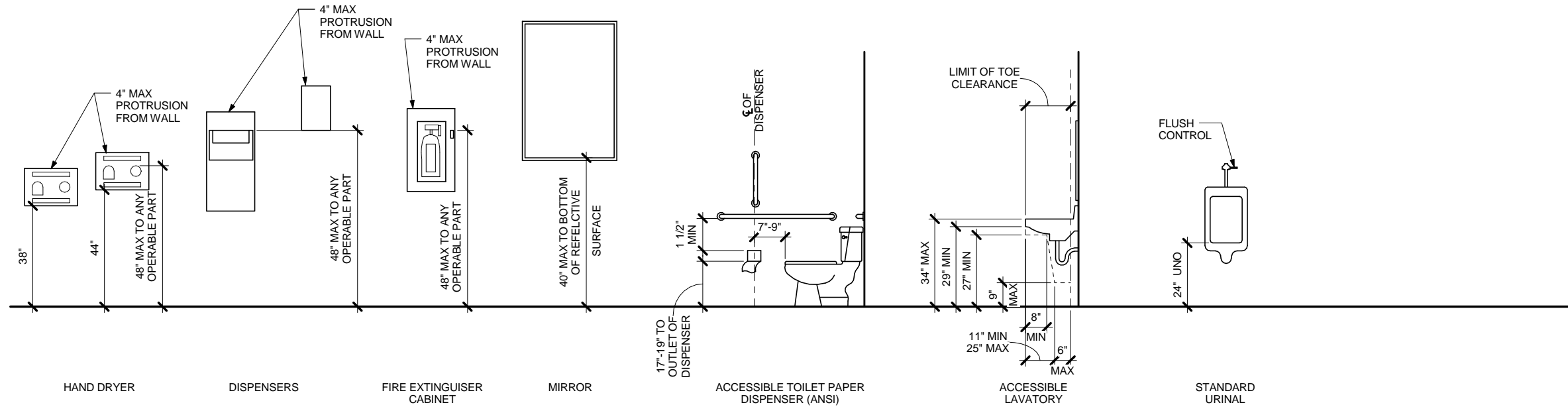
95% REVIEW SET

REVISIONS
△
△
△

SHEET TITLE
**STANDARD FIXTURE
HEIGHTS &
CLEARANCES**

DATE: APRIL 2014
FILE: 13054

A500



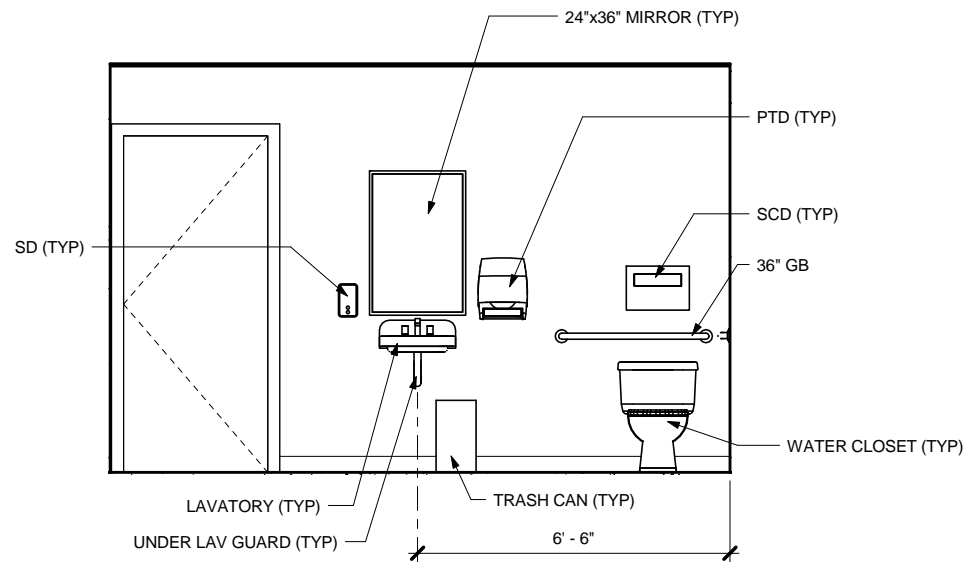
C:\Users\sdgumman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdgumman.rvt

4/12/2014 4:57:26 PM

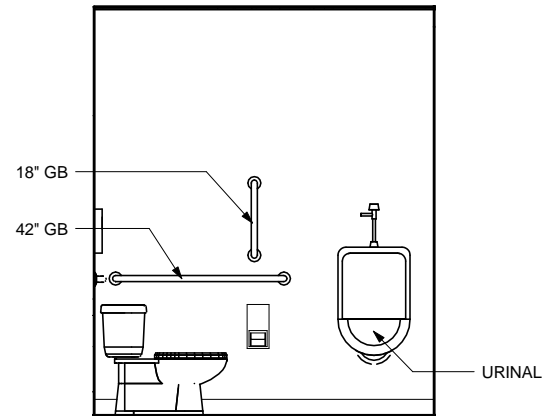
1 STANDARD FIXTURE HEIGHTS



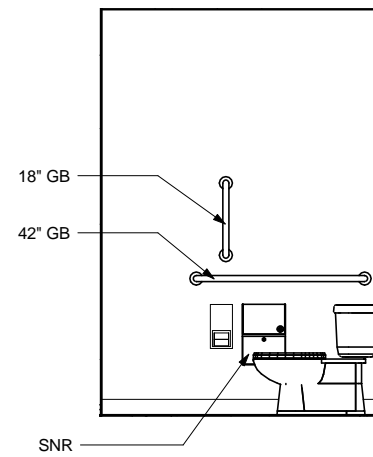
NOTE: SEE SHEET A500 FOR MOUNTING HEIGHTS



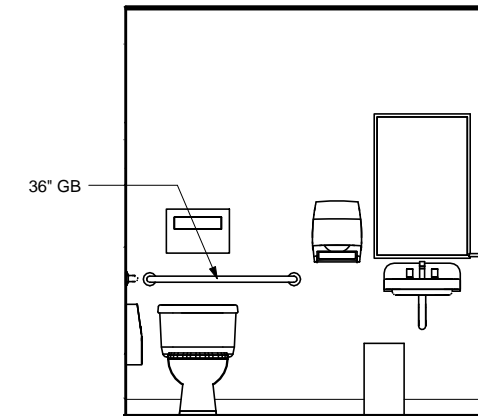
1 INTERIOR ELEVATION
 MENS 104



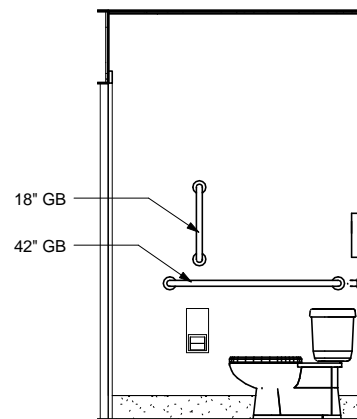
2 INTERIOR ELEVATION
 MENS 104



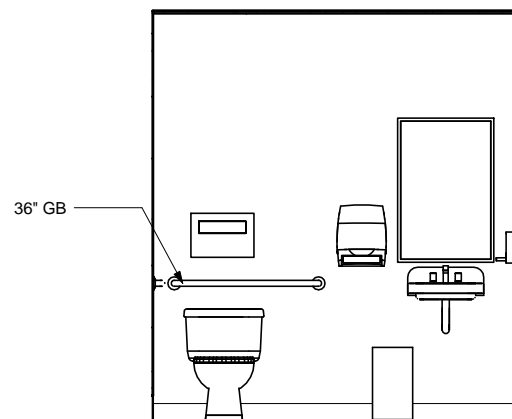
3 INTERIOR ELEVATION
 WOMENS 105



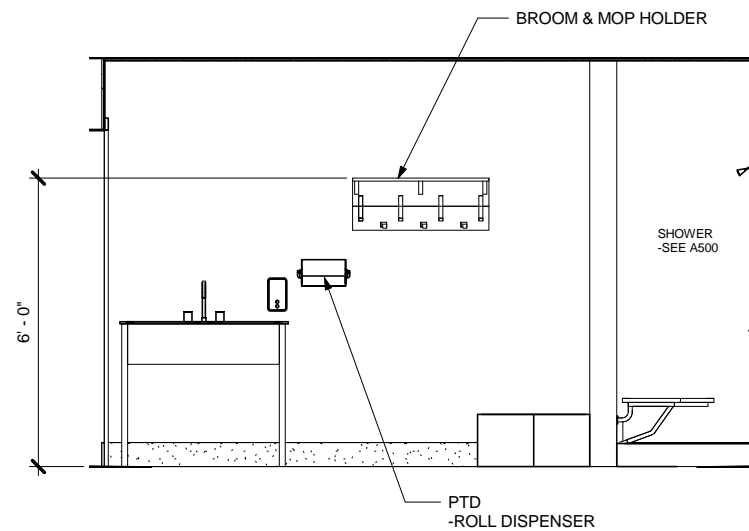
4 INTERIOR ELEVATION
 WOMENS 105



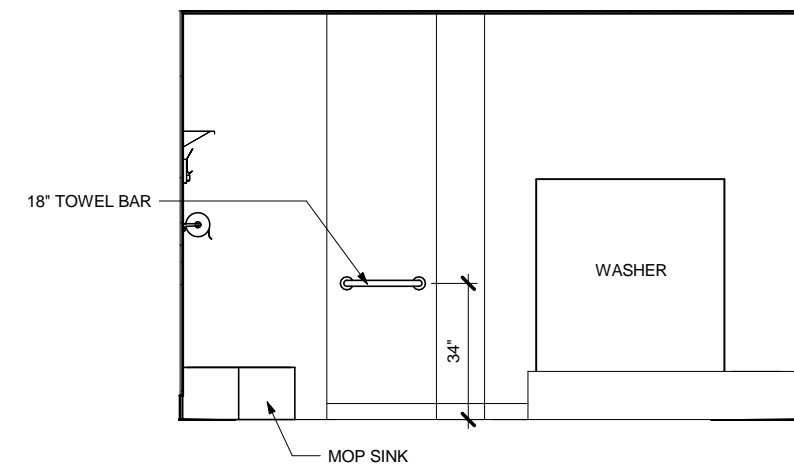
5 INTERIOR ELEVATION
 TOILET 110



6 INTERIOR ELEVATION
 TOILET 110

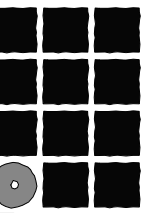


7 INTERIOR ELEVATION



8 INTERIOR ELEVATION

SCALE: 0 1' 2' 4'



**Jensen
 Yorba
 Lott
 Inc.**

522 West 10th Street
 Juneau, Alaska 99801
 Phone 907-586-1070
 Fax 907-586-3959
 jensenyorbaltott.com

City of Craig
FIRE HALL
 Craig, Alaska

95% REVIEW SET

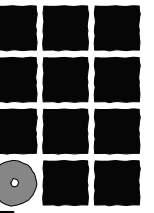
REVISIONS



SHEET TITLE
 INTERIOR
 ELEVATIONS

DATE: APRIL 2014
 FILE: 13054

A501



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbалott.com

**City of Craig
FIRE HALL**
Craig, Alaska

95% REVIEW SET

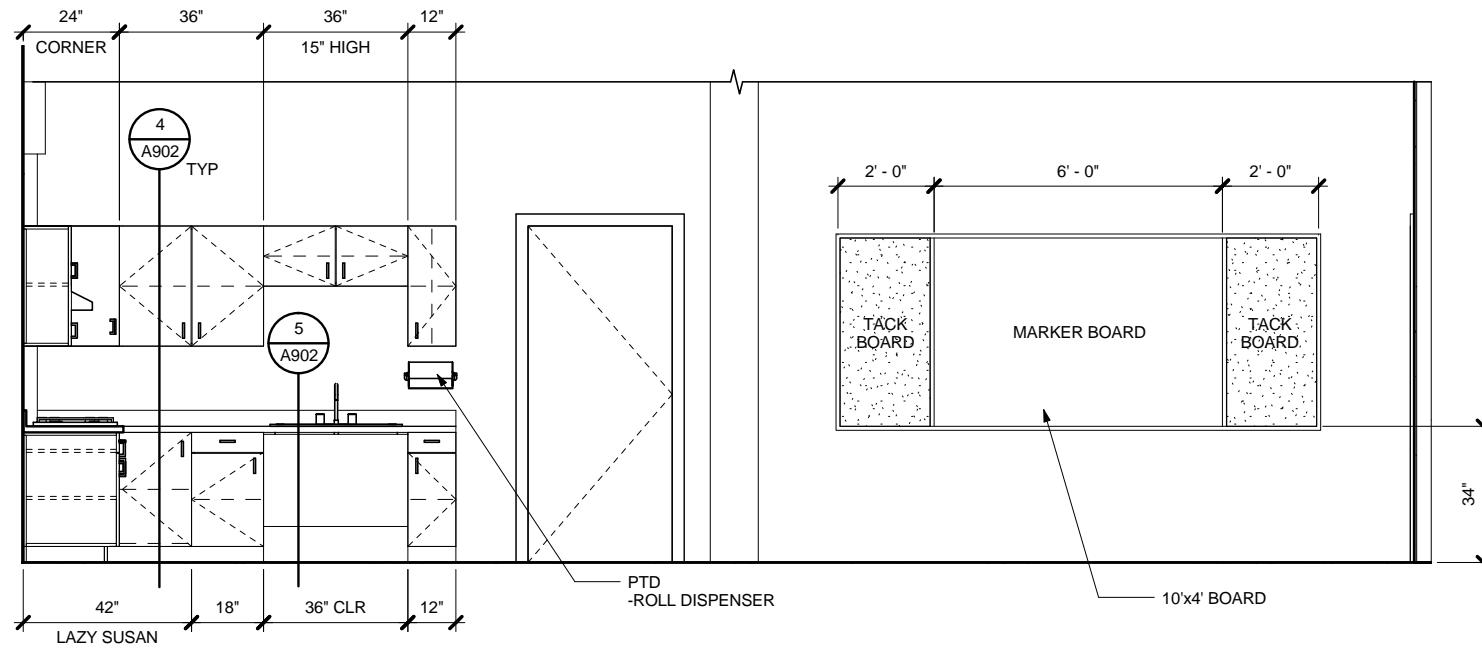
REVISIONS



SHEET TITLE
**INTERIOR
ELEVATIONS**

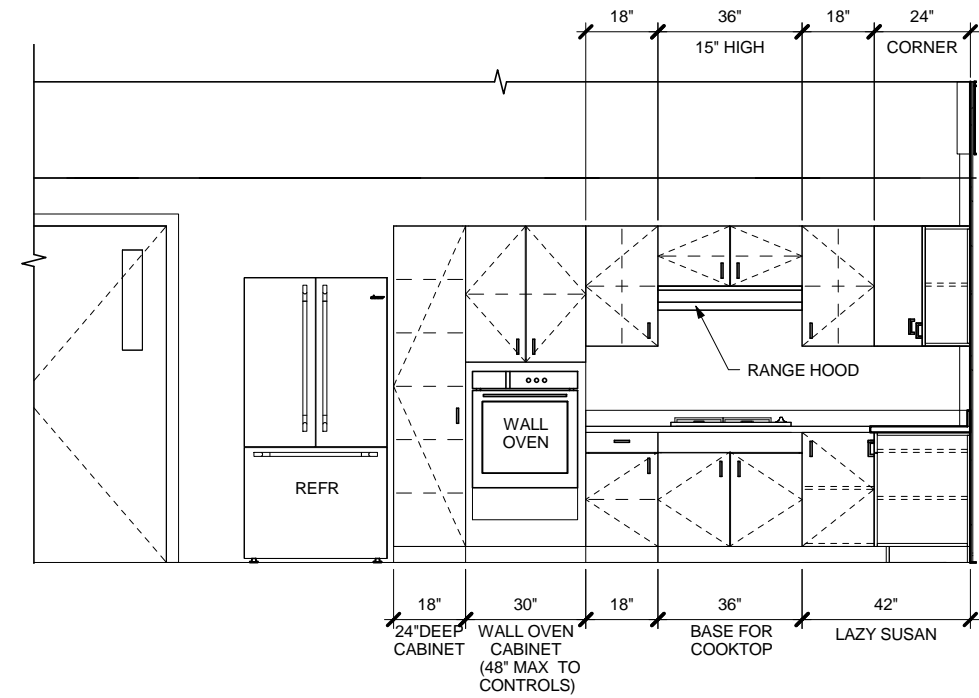
DATE: APRIL 2014
FILE: 13054

A502



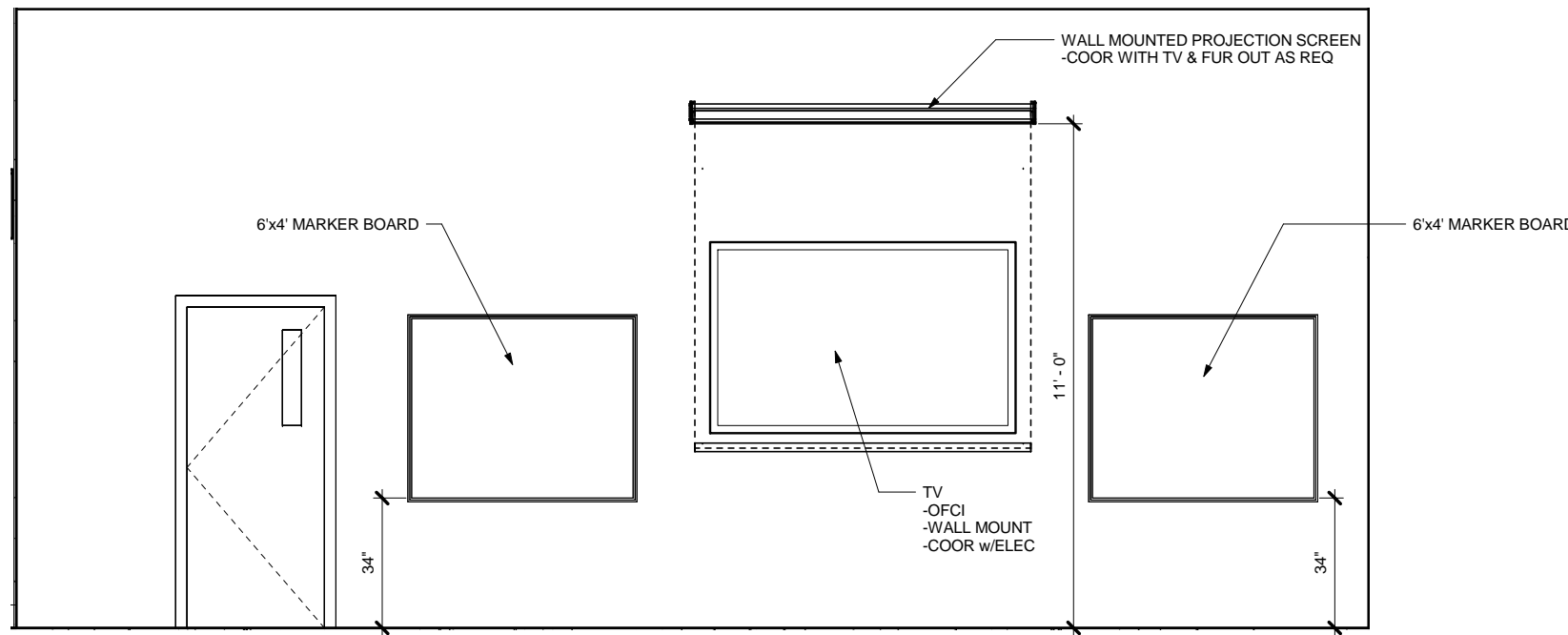
1 ELEVATION - TRAINING 106

SCALE: 0 1' 2' 4'



2 ELEVATION - TRAINING 106

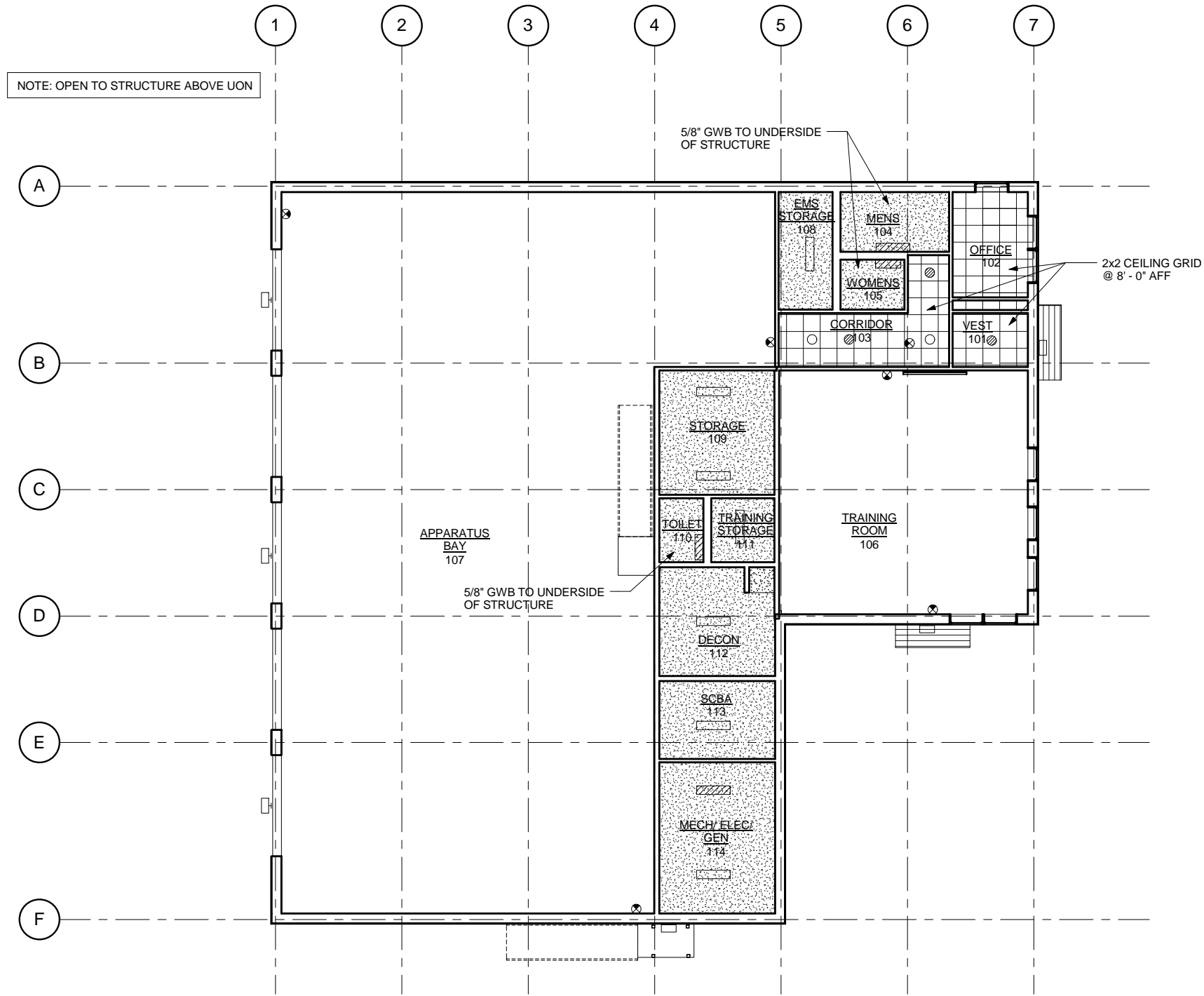
SCALE: 0 1' 2' 4'



3 INTERIOR ELEVATION

SCALE: 0 1' 2' 4'

C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt 4/12/2014 4:57:29 PM



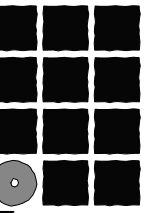
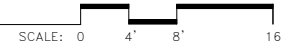
NOTE: OPEN TO STRUCTURE ABOVE UON

5/8" GWB TO UNDERSIDE OF STRUCTURE

2x2 CEILING GRID @ 8'-0" AFF

5/8" GWB TO UNDERSIDE OF STRUCTURE

1 FIRST FLOOR REFLECTED CEILING PLAN

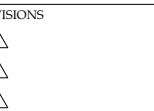


**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig FIRE HALL Craig, Alaska

95% REVIEW SET

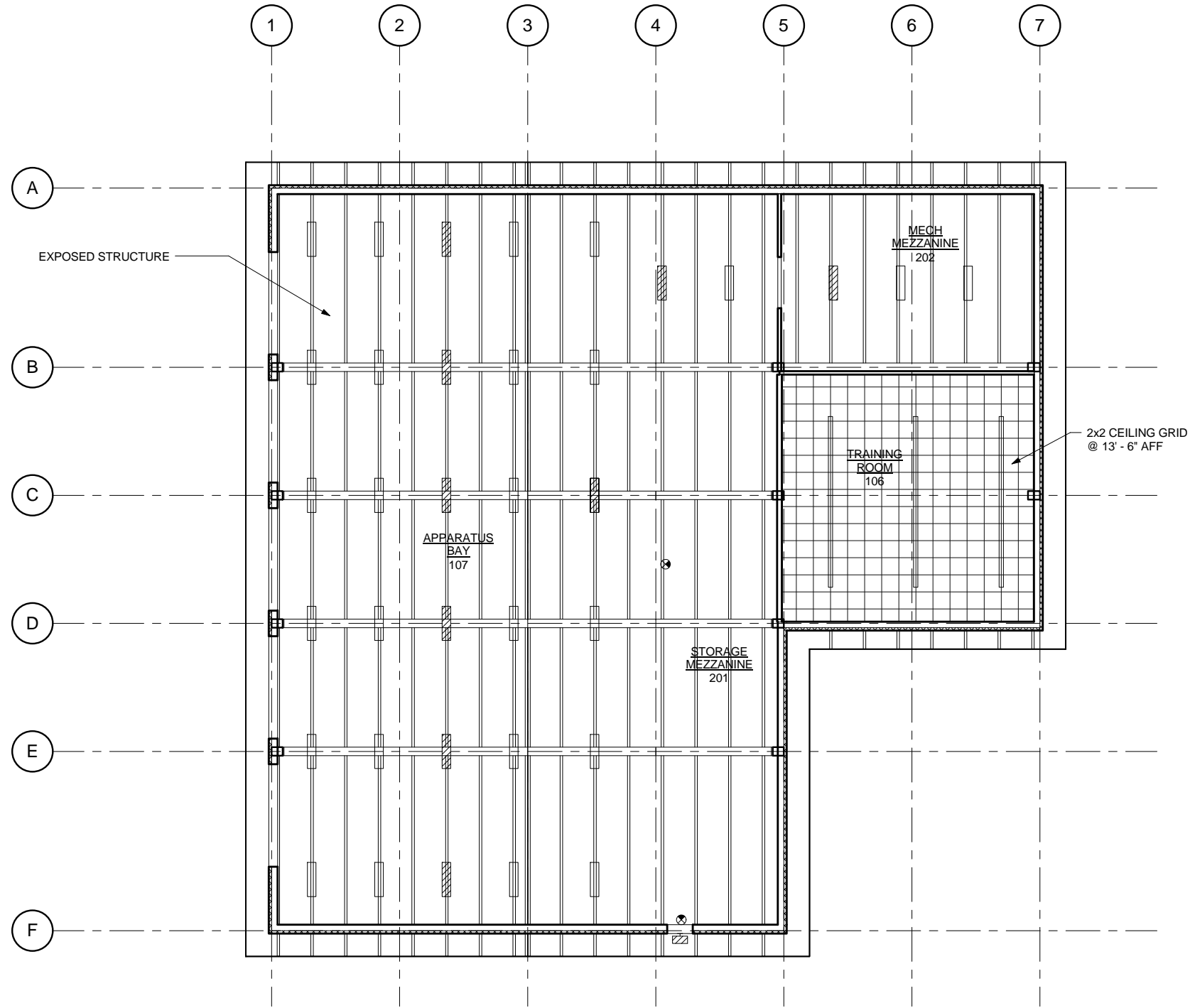


SHEET TITLE
**FIRST FLOOR
REFLECTED CEILING
PLAN**

DATE: APRIL 2014
FILE: 13054

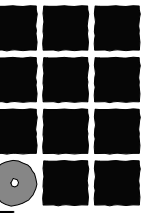
A601

C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt



1 SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 0 4' 8' 16'



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

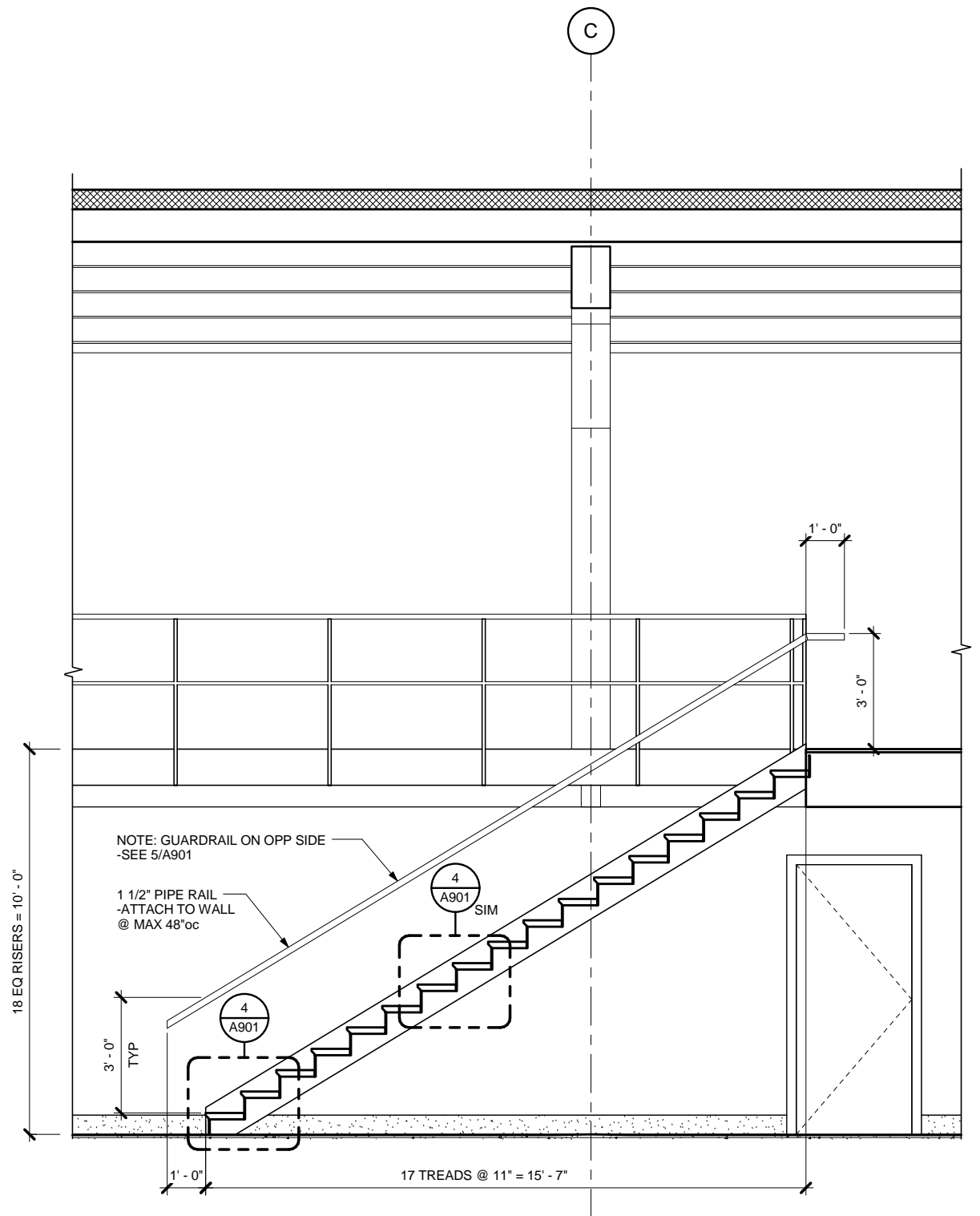
- REVISIONS
- △
 - △
 - △

SHEET TITLE
SECOND FLOOR
REFLECTED CEILING
PLAN

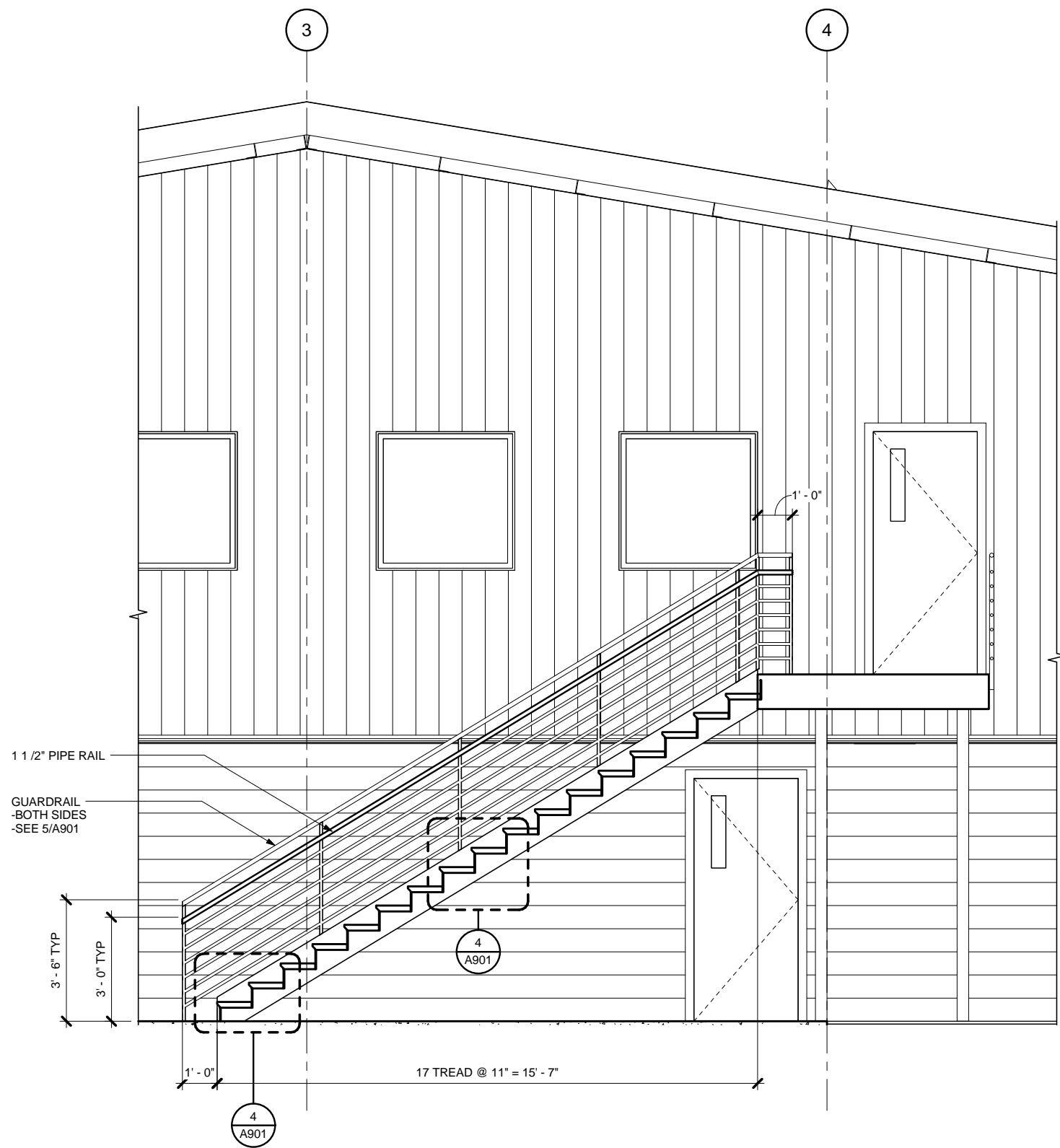
DATE: APRIL 2014
FILE: 13054

A602

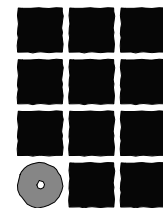
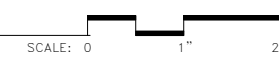
C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt 4/1/2014 4:57:32 PM



1 STAIR SECTION



2 STAIR SECTION



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

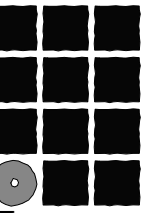
95% REVIEW SET

- REVISIONS
- △
 - △
 - △

SHEET TITLE
STAIR SECTIONS

DATE: APRIL 2014
FILE: 13054

A701



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

**City of Craig
FIRE HALL**
Craig, Alaska

95% REVIEW SET

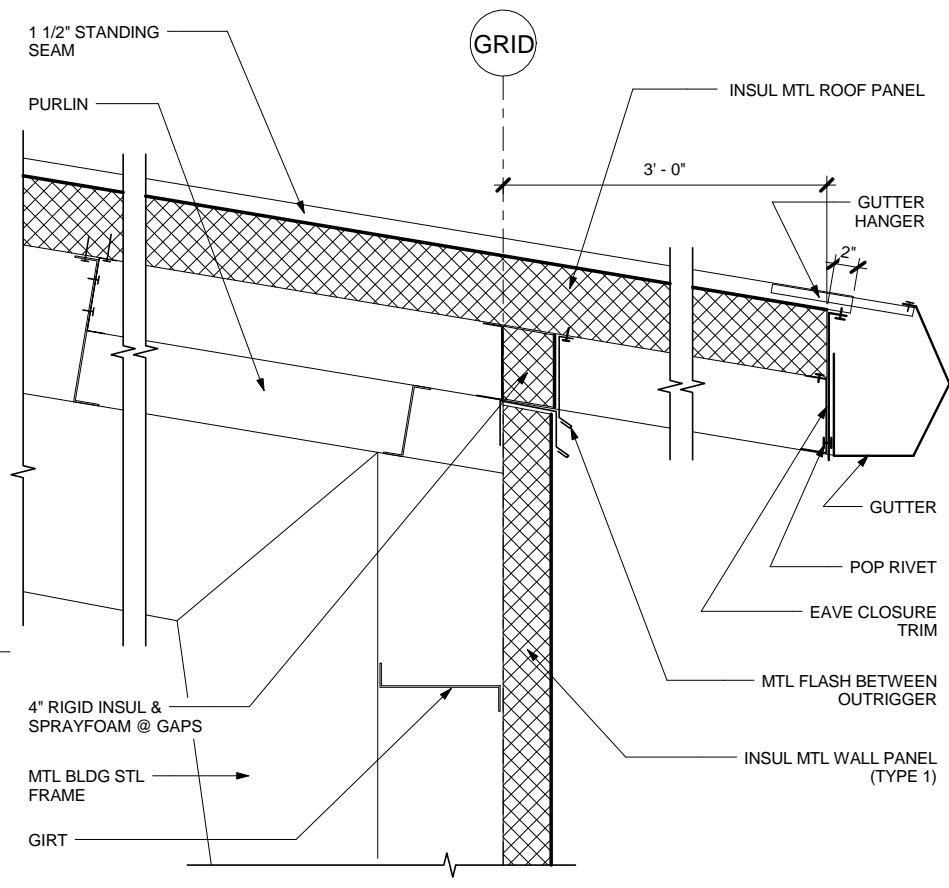
REVISIONS



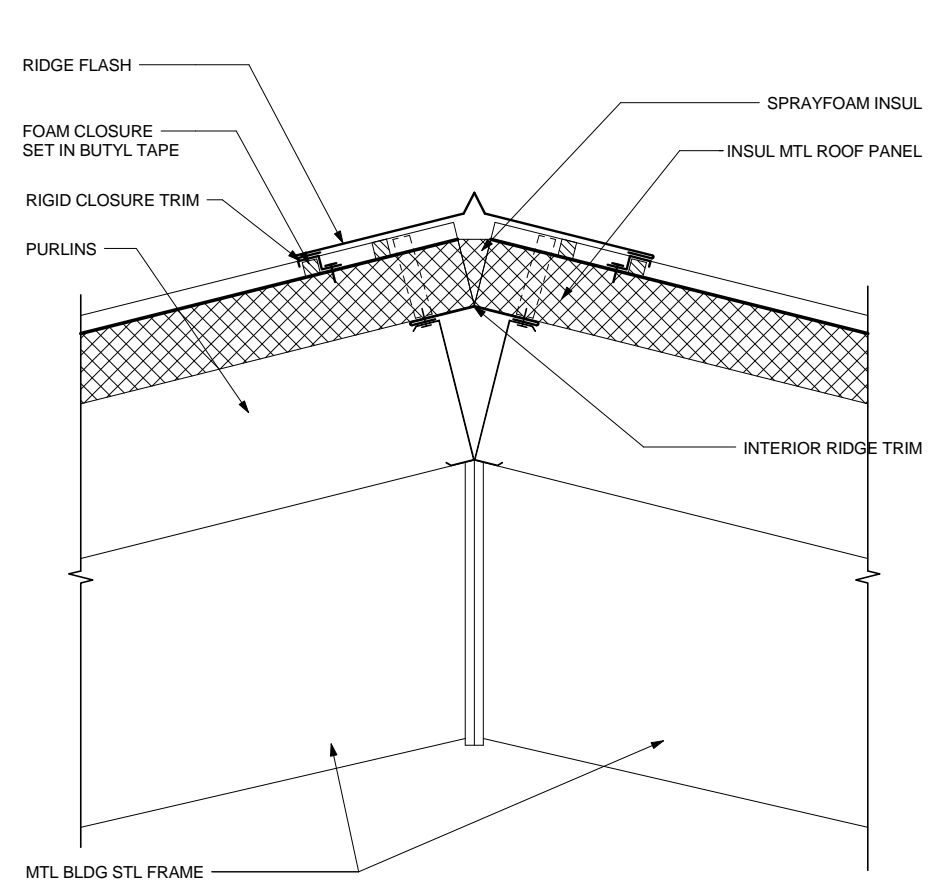
SHEET TITLE
DETAILS

DATE: APRIL 2014
FILE: 13054

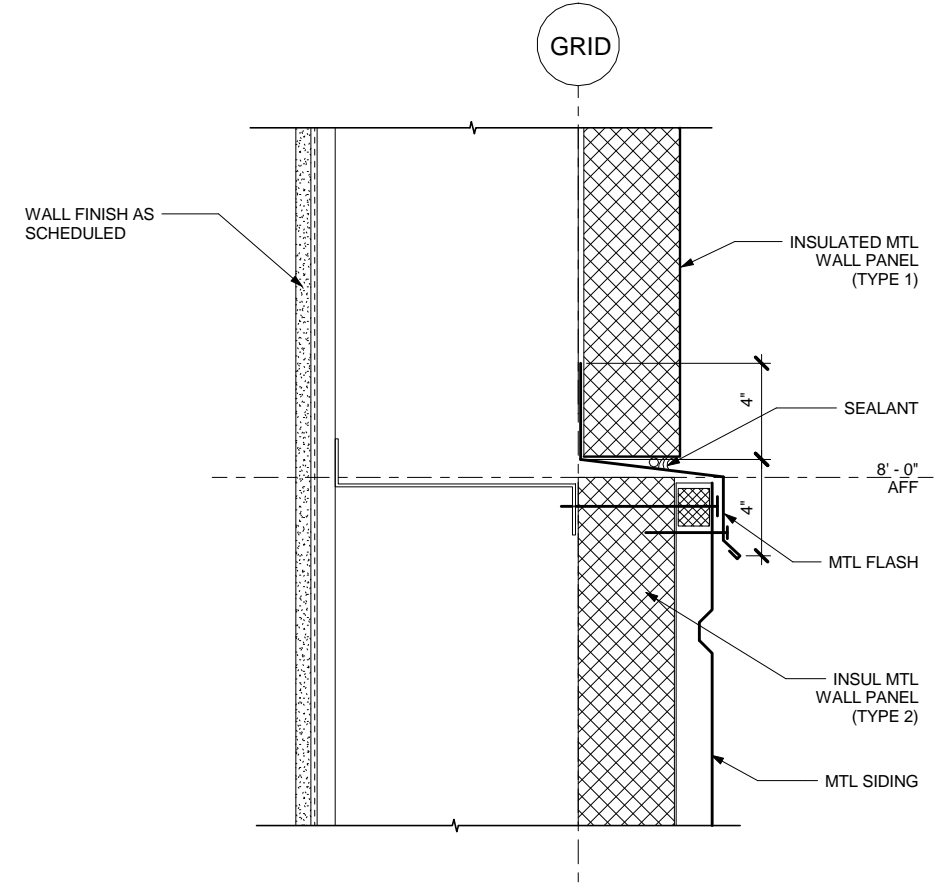
A801



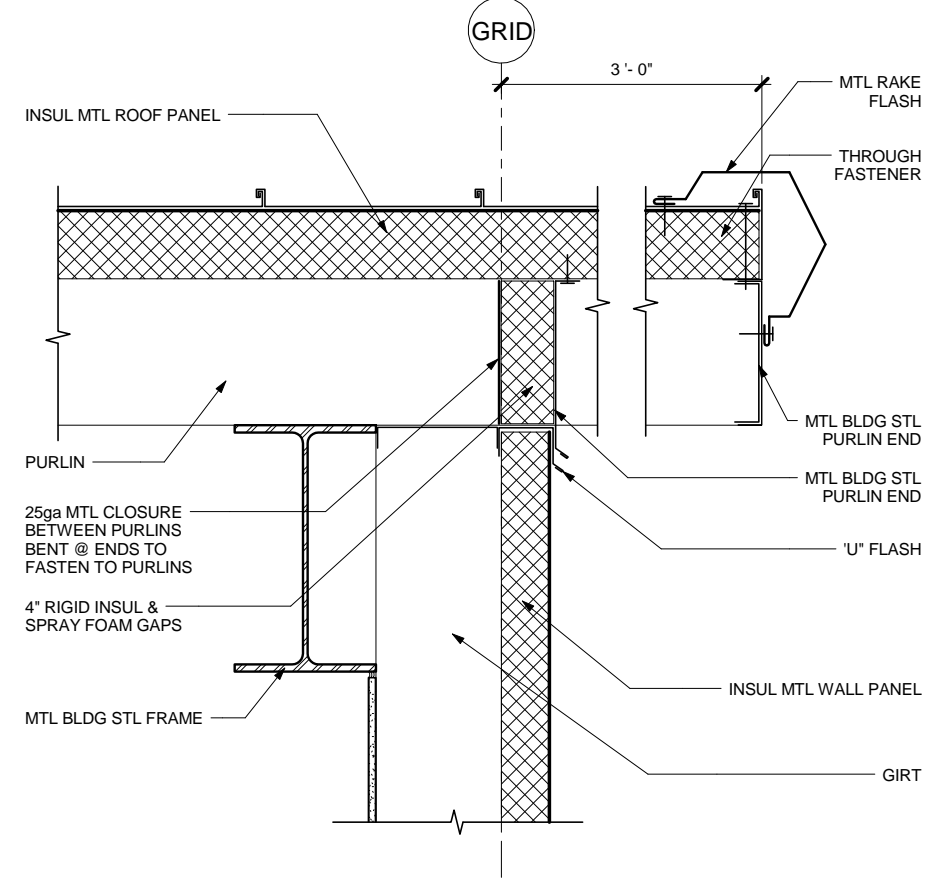
1 TYPICAL EAVE SCALE: 0 6" 1' 2'



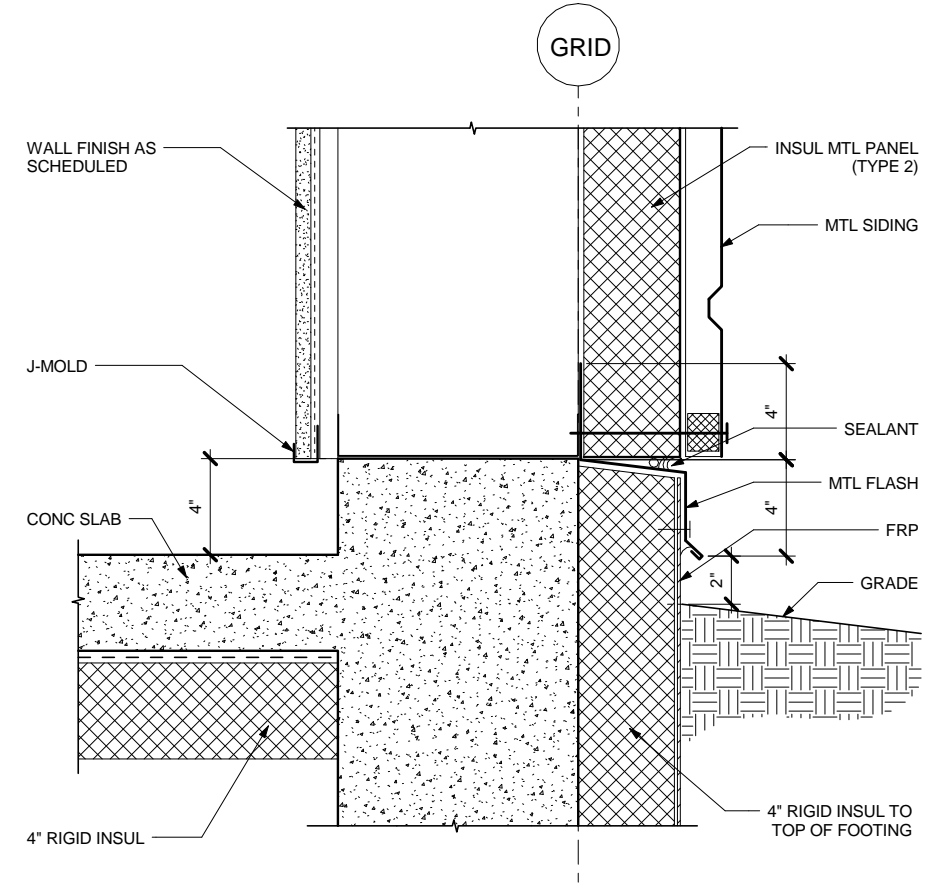
2 RIDGE DETAIL SCALE: 0 6" 1' 2'



3 SIDING TRANSITION SCALE: 0 3" 6" 12'

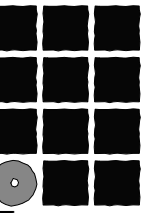


5 EAVE @ RAKE SCALE: 0 6" 1' 2'



6 WALL BASE DETAIL SCALE: 0 3" 6" 12'

4/7/2014 4:57:33 PM C:\Users\adgurman\Documents\My Revit Projects\13054 - Craig Firehall - CD_adgurman.rvt



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

**City of Craig
FIRE HALL**
Craig, Alaska

95% REVIEW SET

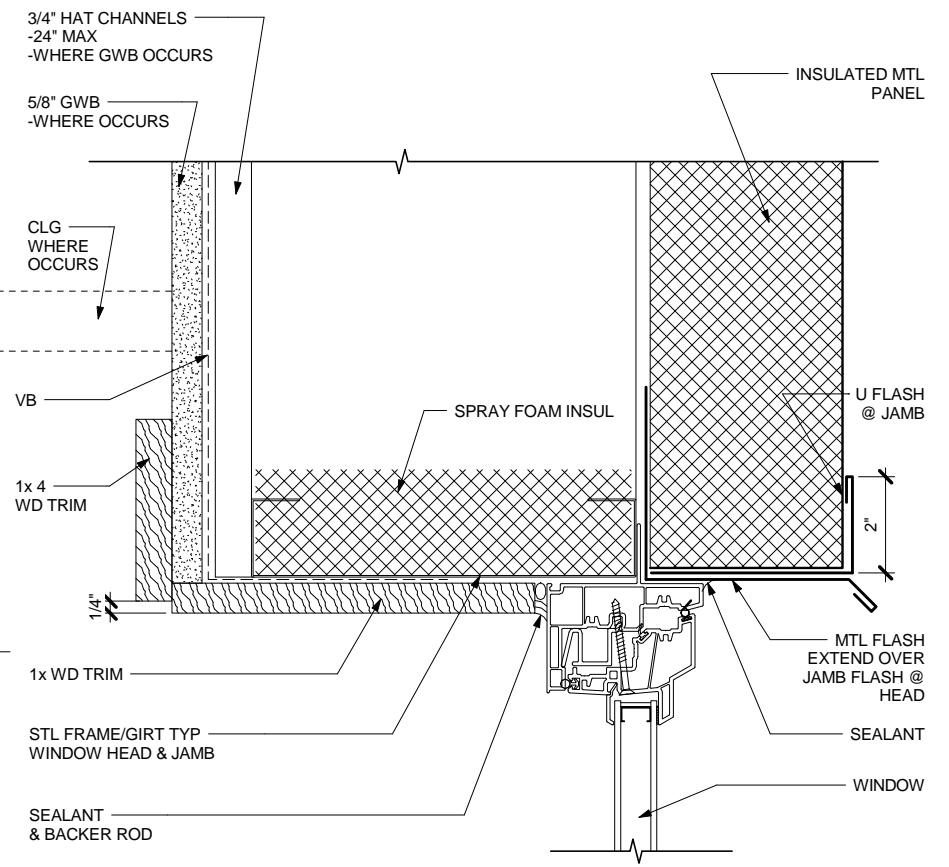
REVISIONS



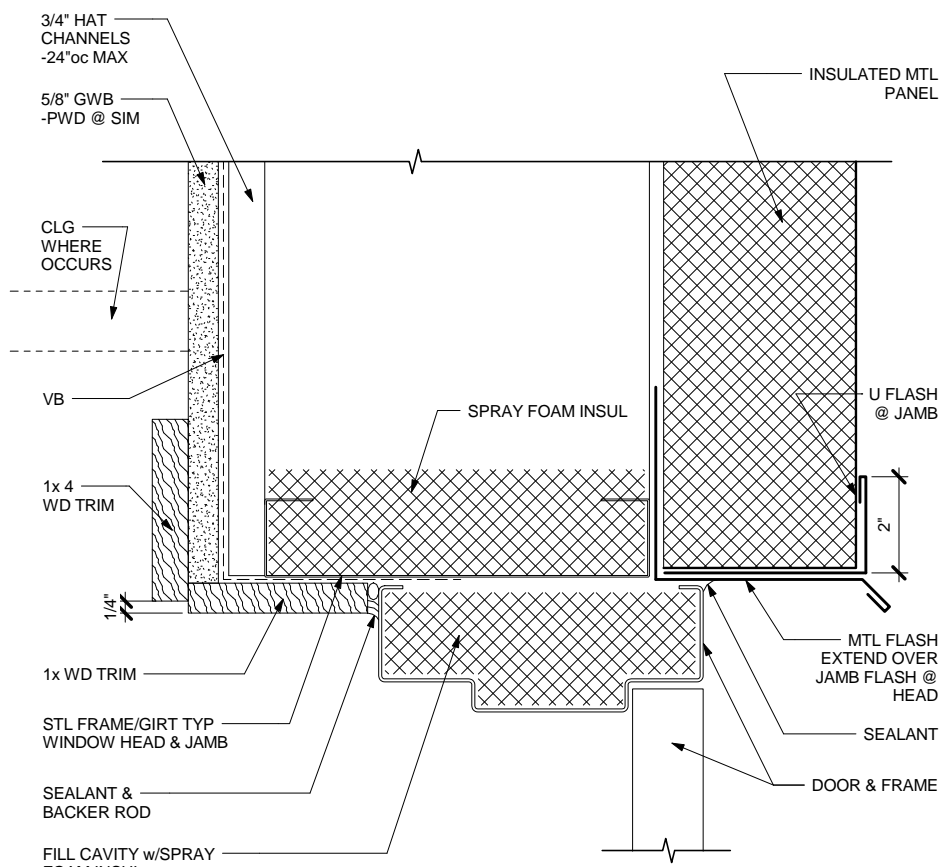
SHEET TITLE
DETAILS

DATE: APRIL 2014
FILE: 13054

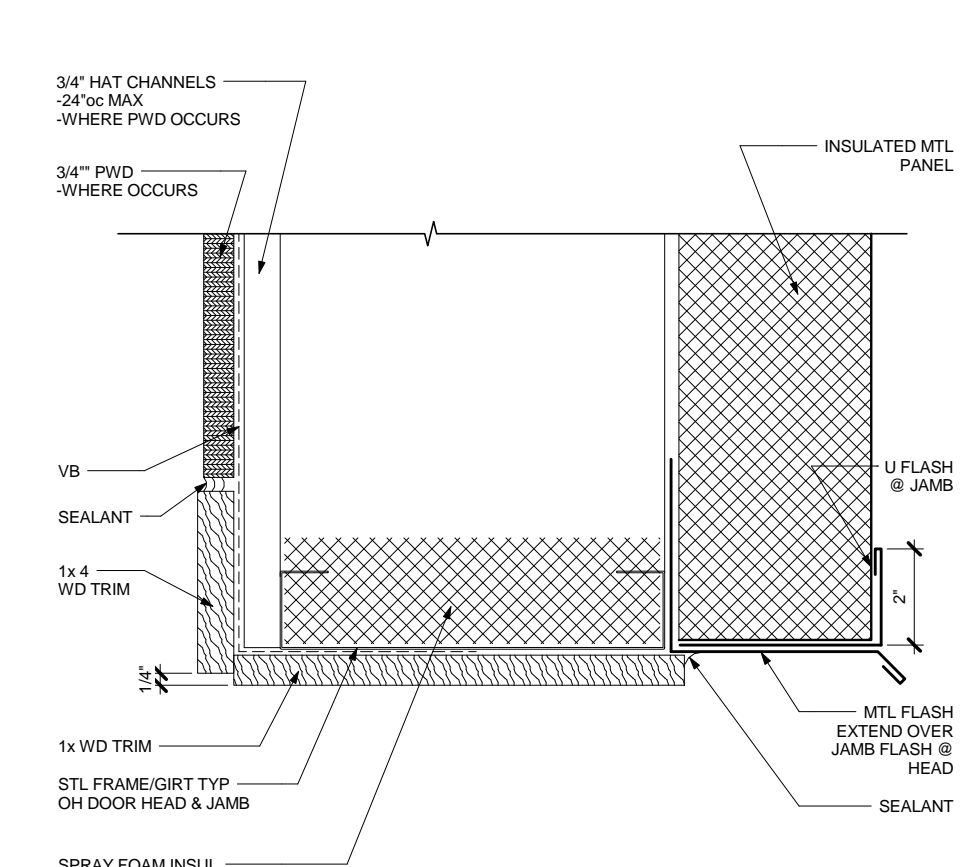
A802



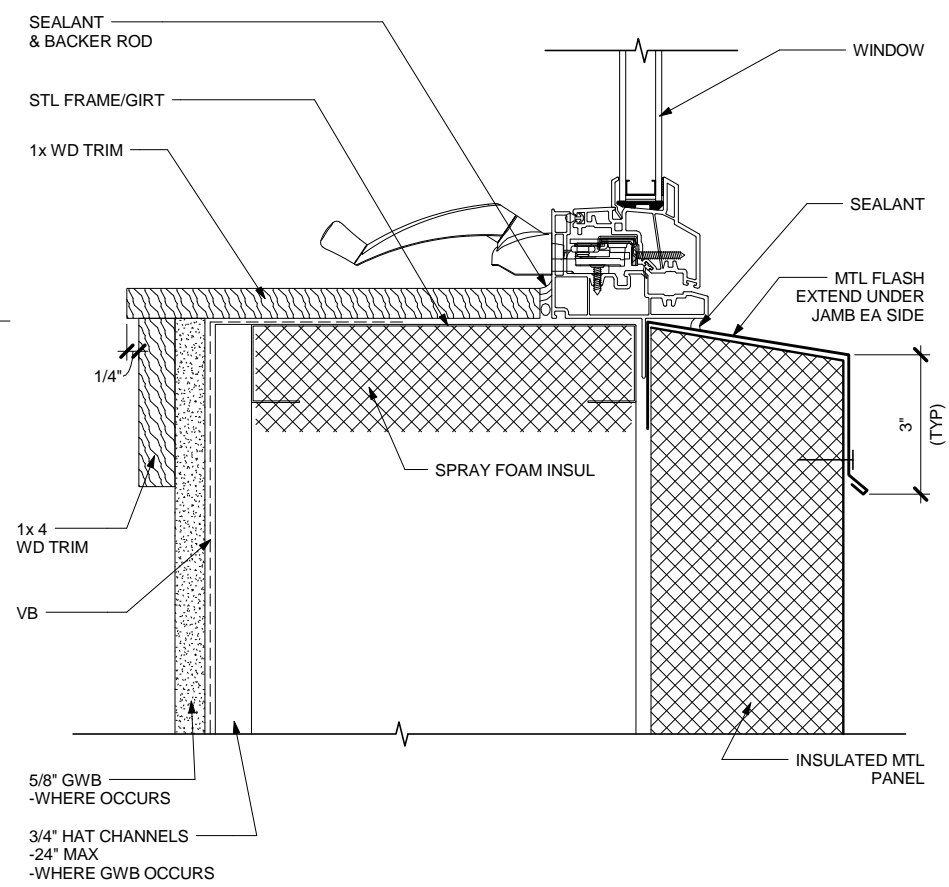
1 WINDOW HEAD (SIM @ JAMB)
SCALE: 0 3" 6"



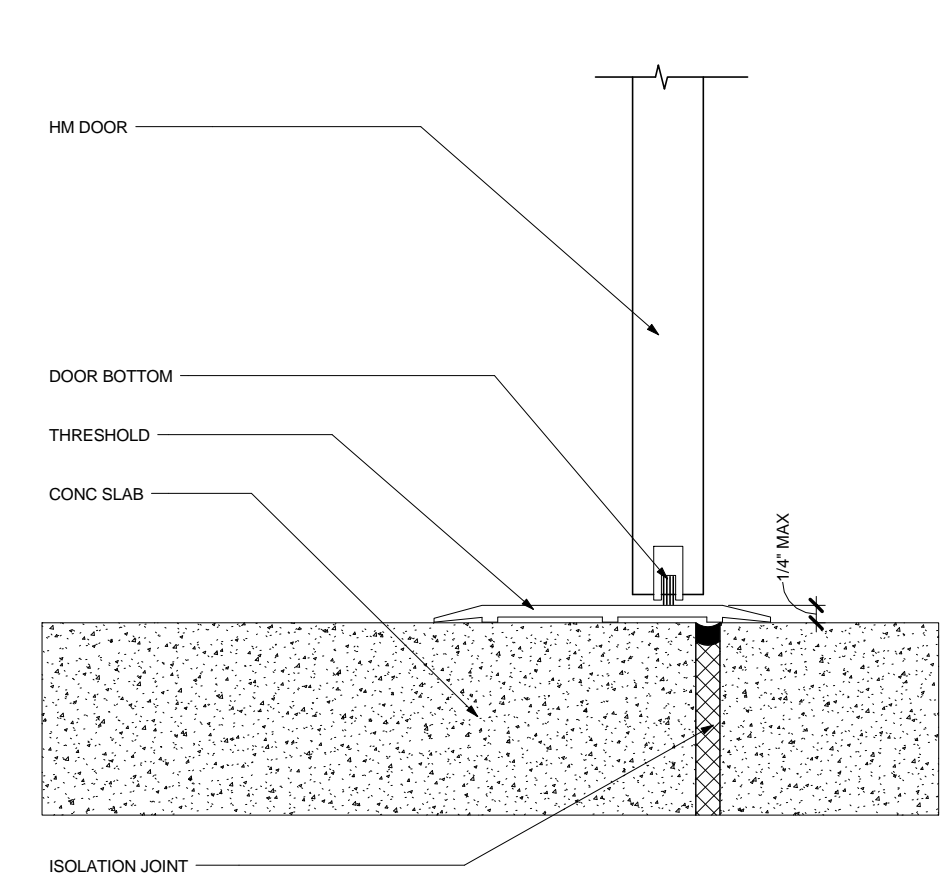
2 DOOR HEAD (SIM @ JAMB)
SCALE: 0 3" 6"



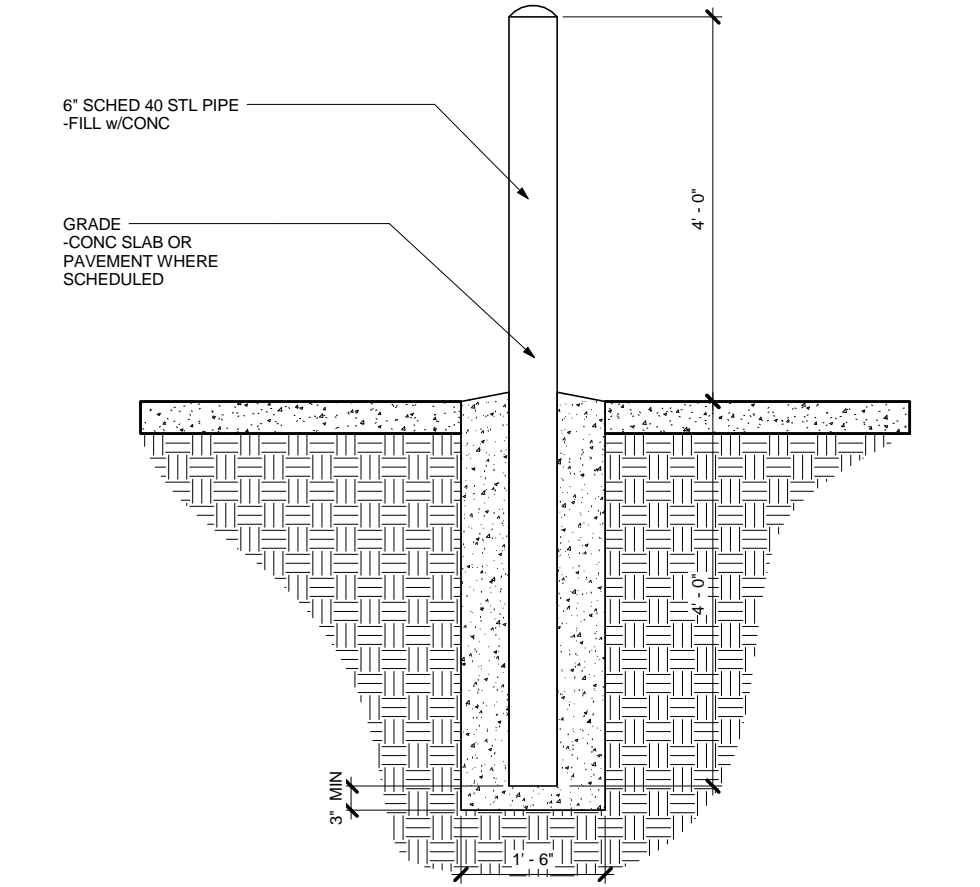
3 OH DOOR HEAD (SIM @ JAMB)
SCALE: 0 3" 6"



4 WINDOW SILL DETAIL
SCALE: 0 3" 6"

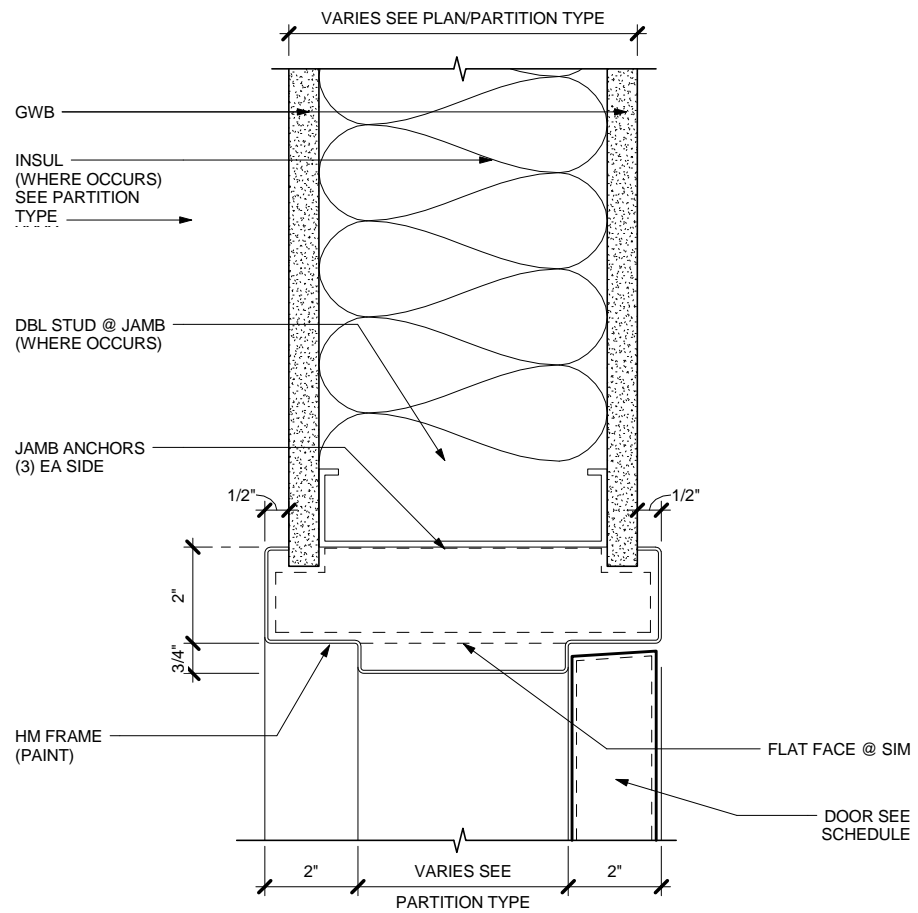


5 DOOR SILL
SCALE: 0 3" 6"

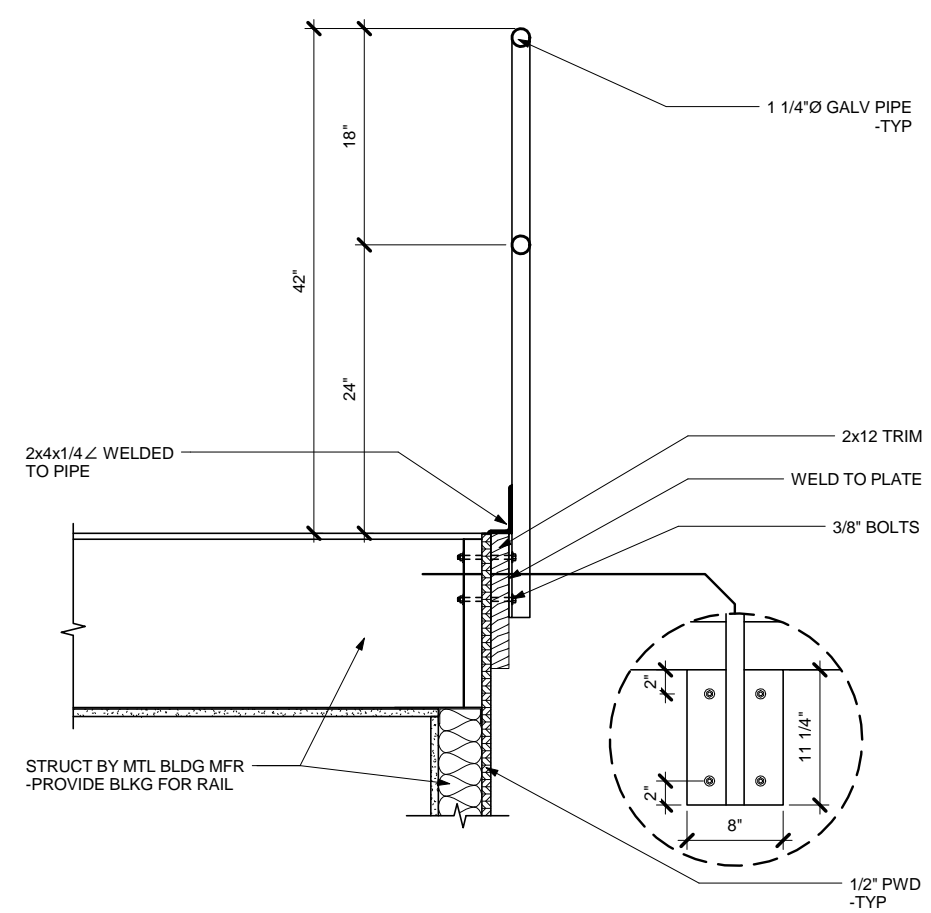


6 TYP BOLLARD DETAIL
SCALE: 0 1" 2"

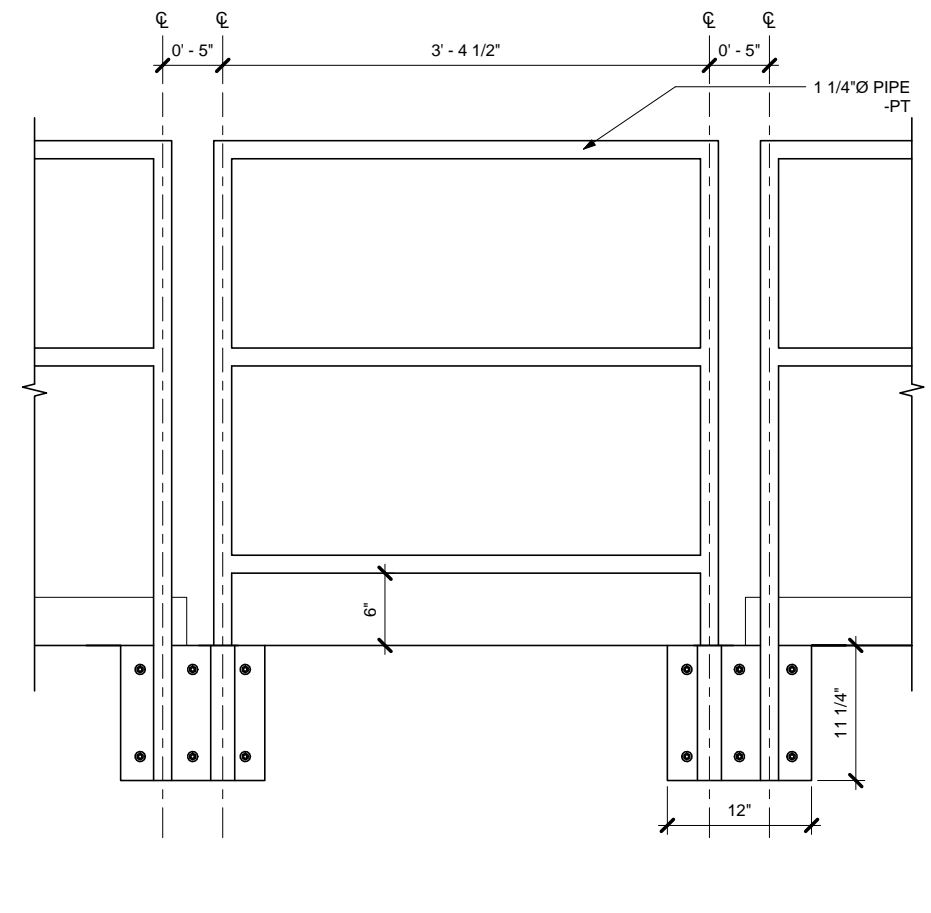
4/1/2014 4:57:34 PM C:\Users\sdgumman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdgumman.rvt



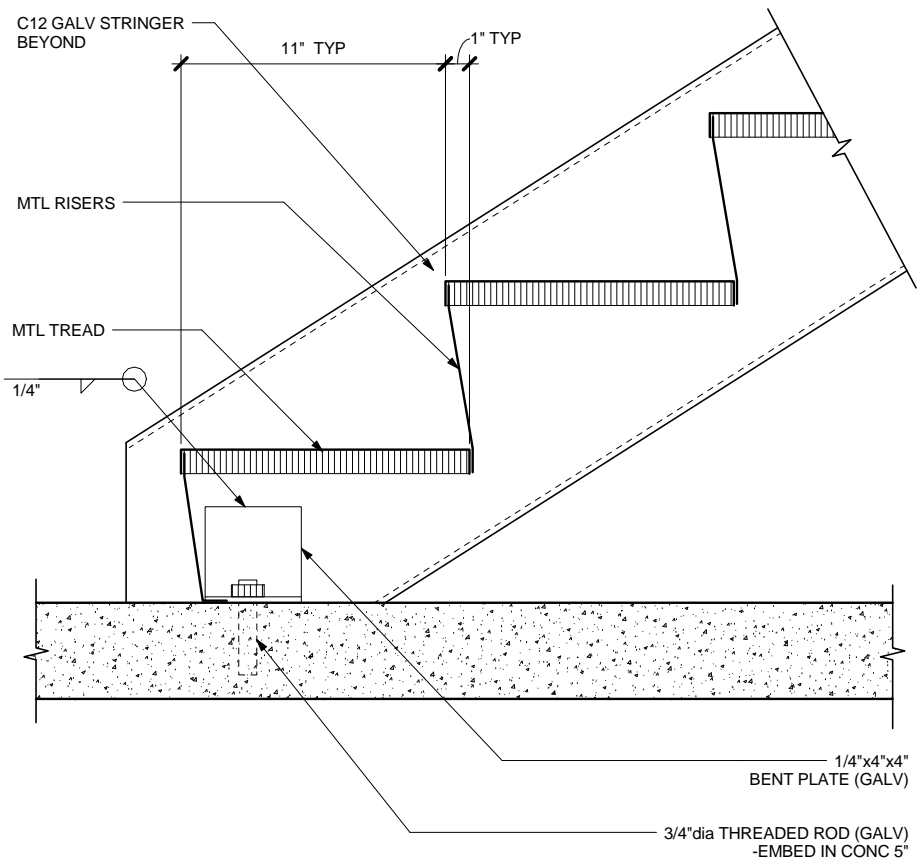
1 DOOR JAMB/HEAD(SIM) SCALE: 0 3" 6"



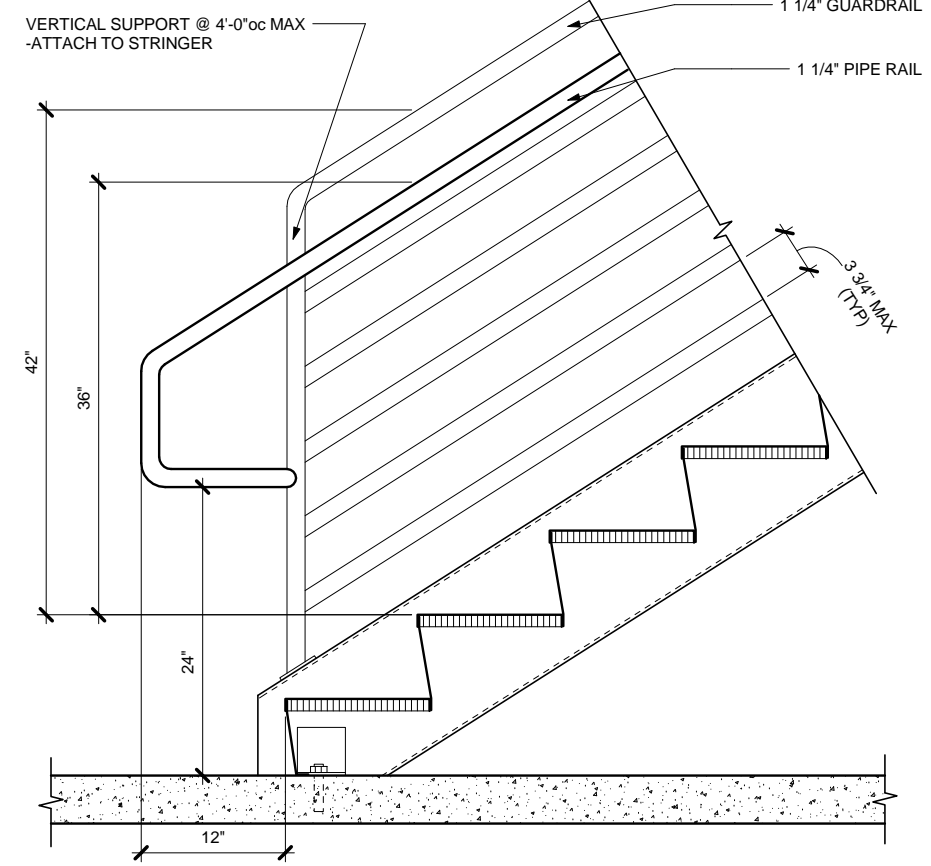
2 TYPICAL GUARDRAIL DETAIL SCALE: 0 6" 1' 2"



3 REMOVABLE RAIL DETAIL SCALE: 0 6" 1' 2"



4 STAIR DETAIL SCALE: 0 3" 6" 12"

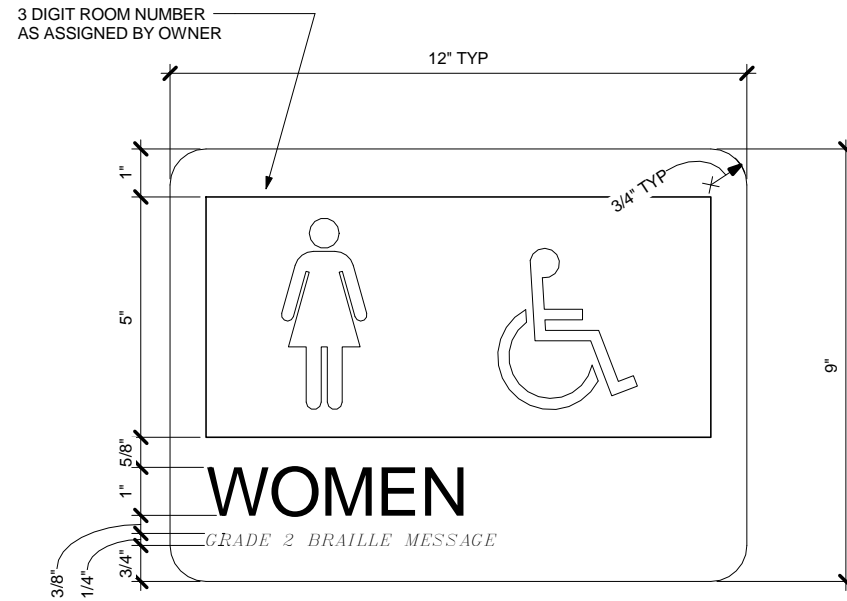


5 GUARDRAIL DETAIL SCALE: 0 6" 1' 2"

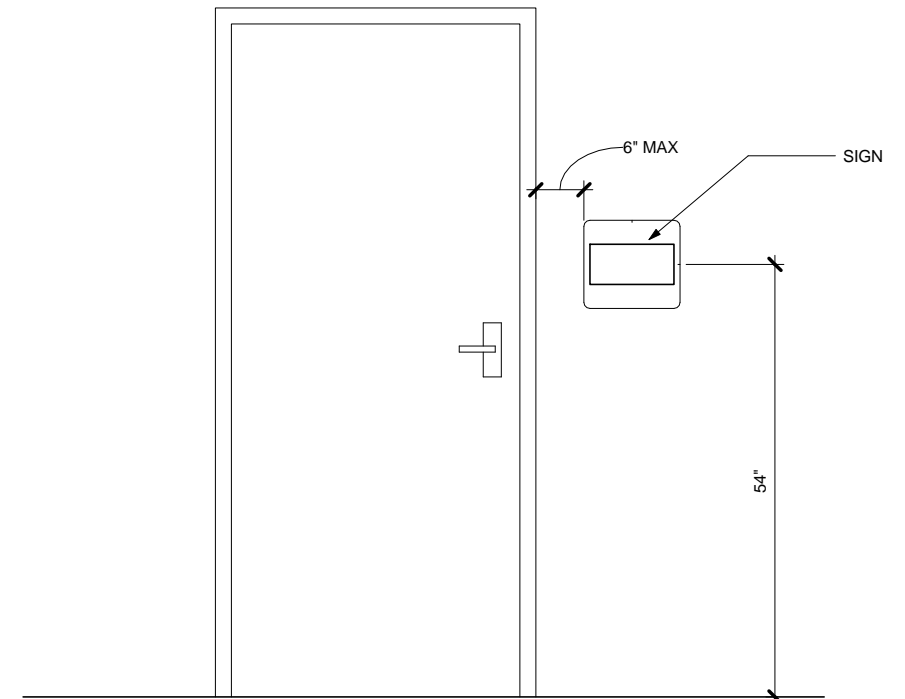
C:\Users\sdguzman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguzman.rvt 4/1/2014 4:57:35 PM



NOTE: VARY SIZE AS REQUIRED TO FIT MESSAGE TEXT



NOTE: VARY SIZE AS REQUIRED TO FIT MESSAGE TEXT



1 SIGNAGE - TYPE "A"

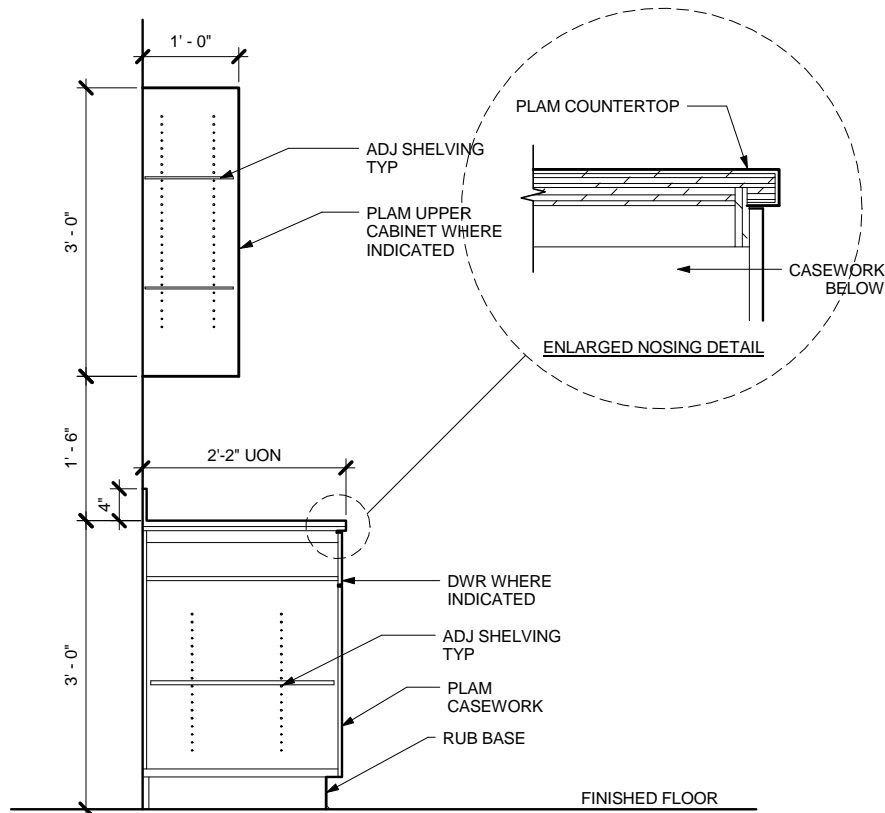
SCALE: 0 3" 6"

2 SIGNAGE - TYPE "B"

SCALE: 0 3" 6"

3 TYPICAL SIGNAGE MOUNTING

SCALE: 0 3" 6"

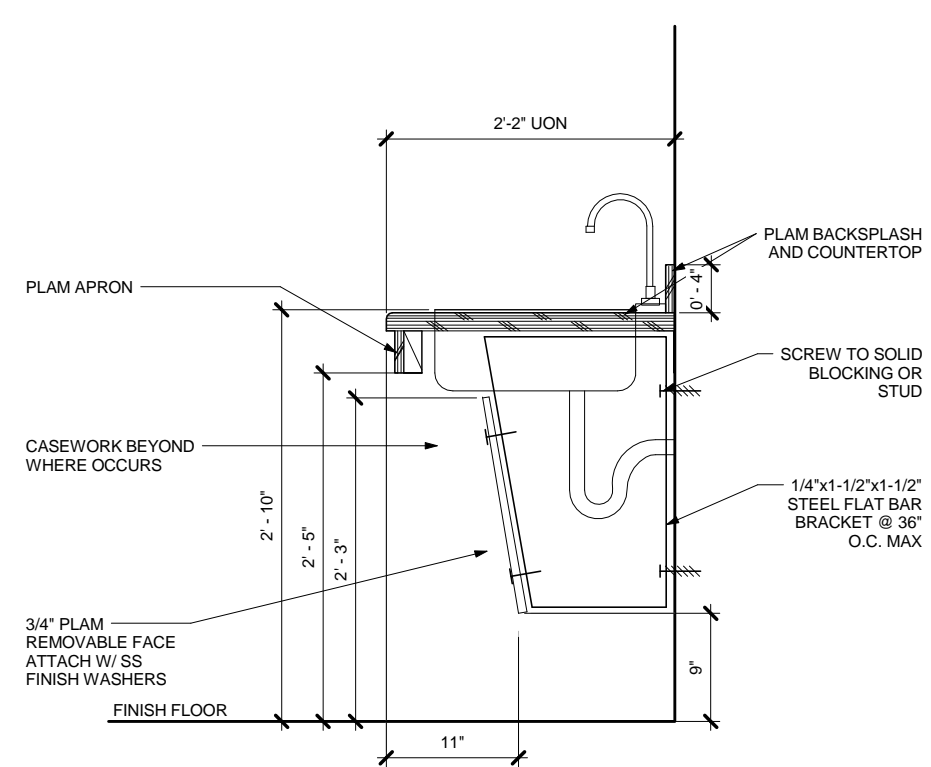


4 TYP CASEWORK

SCALE: 0 6" 1' 2'

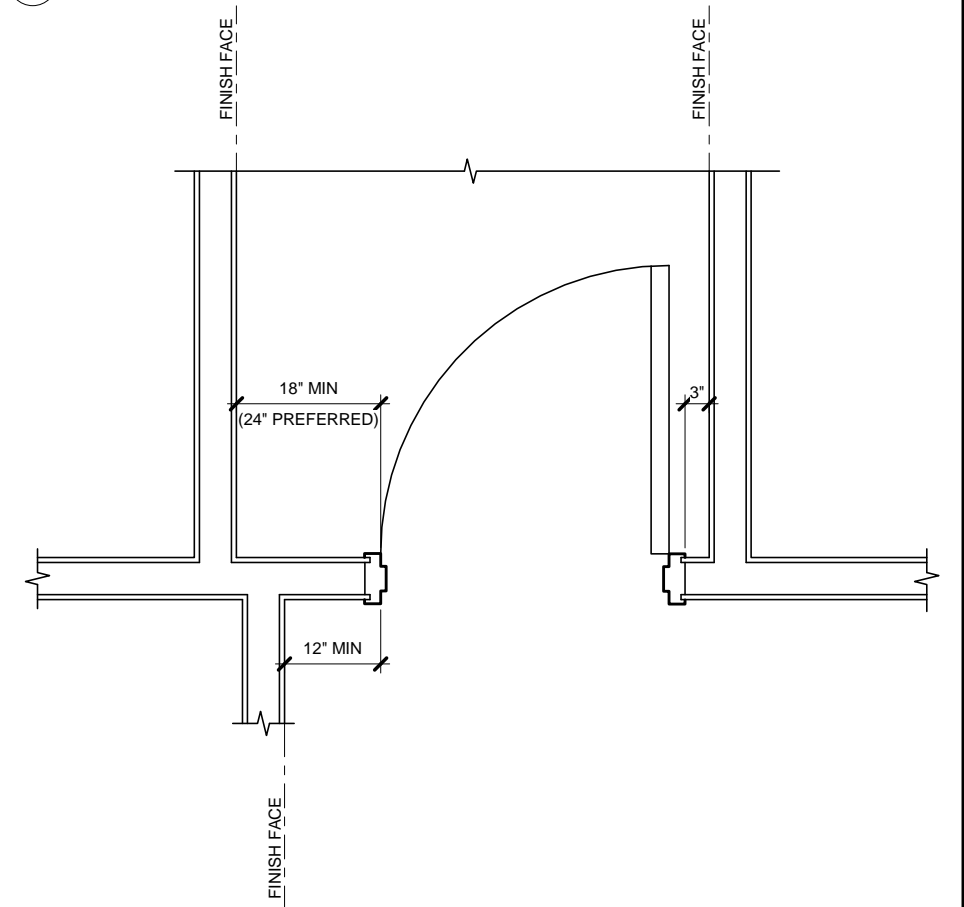
5 TYP DETAIL AT SINK

SCALE: 0 6" 1' 2'

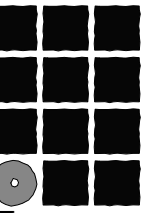


6 TYPICAL DOOR CLEARANCES

SCALE: 0 1" 2"



C:\Users\sdguman\Documents\My Revit Projects\13054 - Craig Firehall - CD_sdguman.rvt 4/7/2014 4:57:36 PM



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbaltott.com

**City of Craig
FIRE HALL**
Craig, Alaska

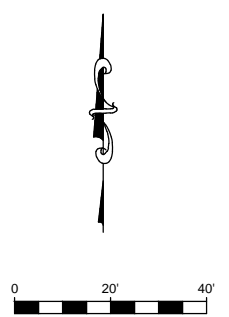
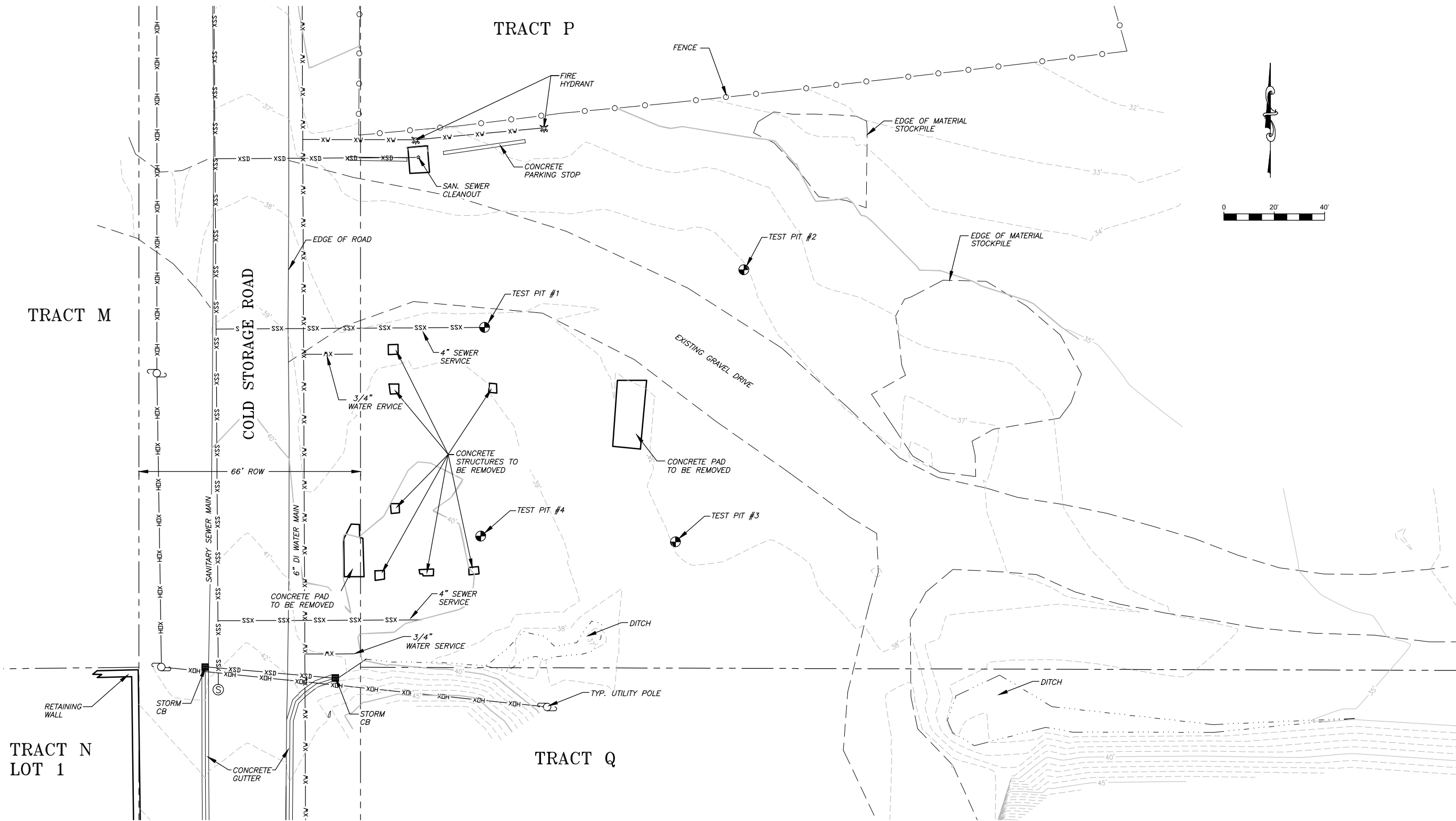
95% REVIEW SET

REVISIONS
▲
▲
▲

SHEET TITLE
INTERIOR DETAILS

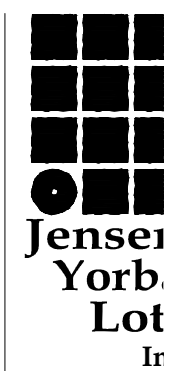
DATE: APRIL 2014
FILE: 13054

A902



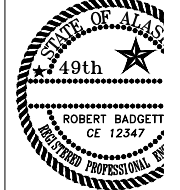
TEST PIT LOG TABLE

| Test Pit | Depth | Description | Remarks |
|----------|--------------|---------------------------------------|--|
| # 1 | 0' - 4' | Imported granular fill | Ended test pit @ 7' |
| | 4' - 5.5' | Compressed native organic | |
| | 5.5' - 7' | Grey cobbles with silt and sand | |
| # 2 | 0' - 6' | Imported fill with organics | Noticed smell of deisel approx. 3' below surface. Ended test pit @ 10.5' |
| | 6' - 9.5' | Compressed organics with woody debris | |
| | 9.5' - 10.5' | Consolidated grey clay with cobbles | |
| # 3 | 0' - 4' | Imported fill with organics | Ended test pit @ 8' |
| | 4' - 7' | Compressed organics with woody debris | |
| | 7' - 8' | Consolidated grey clay with cobbles | |
| # 4 | 0' - 3.5' | Imported fill with woody debris | Ended test pit @ 7.5' |
| | 3.5' - 6.5' | Compressed organics with woody debris | |
| | 6.5' - 7.5' | Grey cobbles with silt and sand | |



Jensen Yorbalott Inc.
 522 West 10th Str
 Juneau, Alaska 998
 phone 907-586-10
 fax 907-586-35
 jensenyorbaloott.co

R&M ENGINEERING-KETC
 355 CARLANNA LAKE R
 KETCHIKAN, ALASKA 9
 PHONE (907) 225-791
 FAX (907) 225-3441
 www.rm.ketchikan.com



City of Craig
FIRE HALL

BID SET
 REVISIONS
 ▲
 ▲
 ▲
 EXISTING CONDITIONS

DATE: MARCH 12, 2014
 FILE: R&M 132303

C100

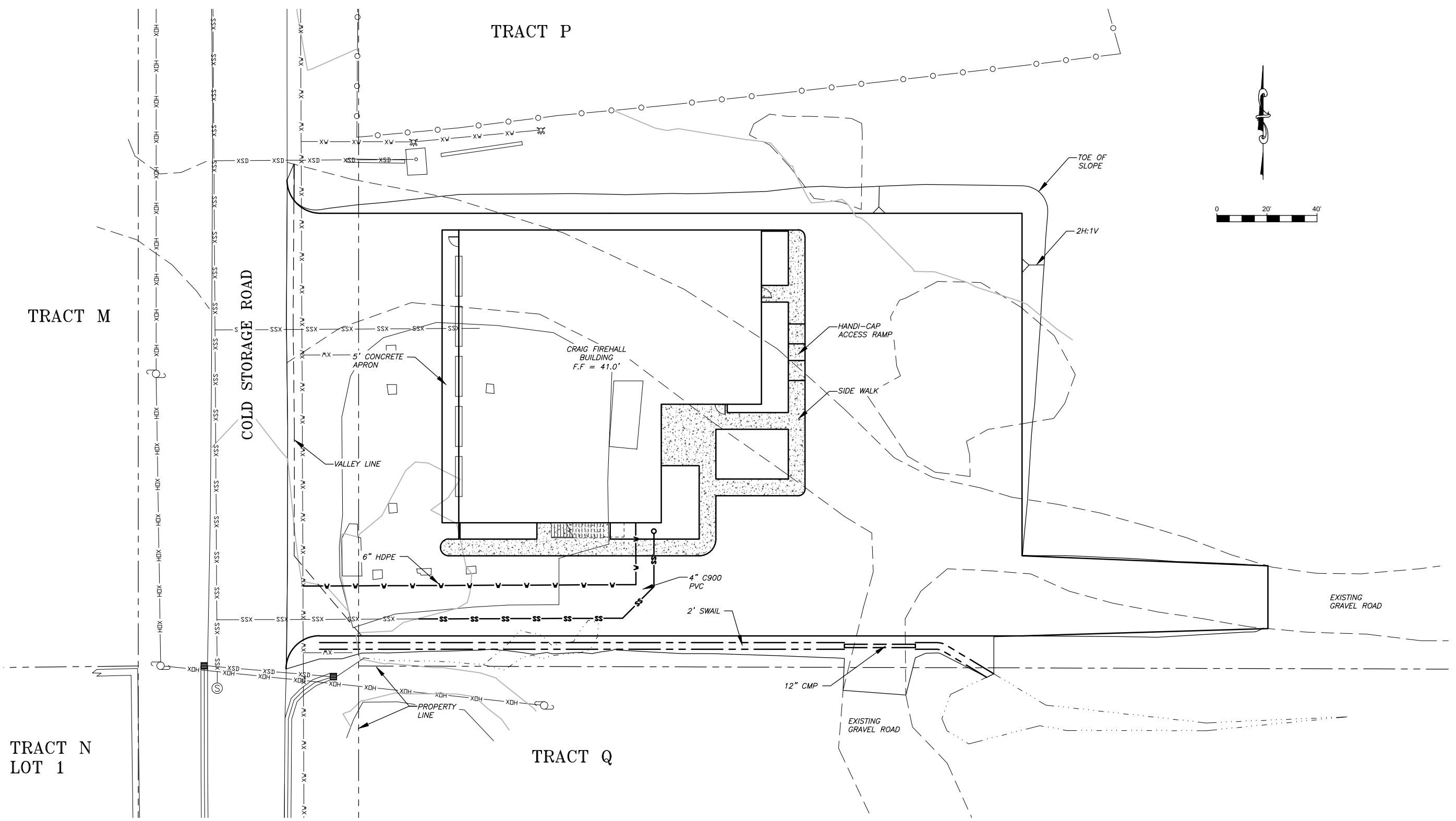
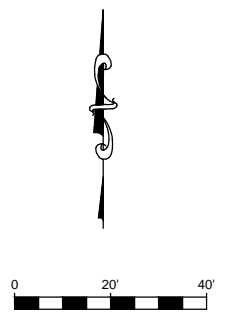
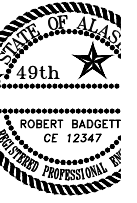


**Jensen
Yorbalott
Inc.**

522 West 10th Str
Juneau, Alaska 998
phone 907-586-1100
fax 907-586-3500
jensenyorbalott.com



R&M ENGINEERING-KETCHIKAN
355 CARLAINNA LAKE RD
KETCHIKAN, ALASKA 998
PHONE (907) 225-7911
FAX (907) 225-3441
www.rm-ketchikan.com



TRACT P

TRACT M

TRACT N
LOT 1

TRACT Q

COLD STORAGE ROAD

VALLEY LINE

6" HDPE

CRAIG FIREHALL
BUILDING
F.F. = 41.0'

HANDI-CAP
ACCESS RAMP

SIDE WALK

4" C900
PVC

2' SWAIL

12" CMP

EXISTING
GRAVEL ROAD

EXISTING
GRAVEL ROAD

PROPERTY
LINE

BID SET

REVISIONS



SITE PLAN

DATE: MARCH 12, 2014
FILE: R&M 132303

C101

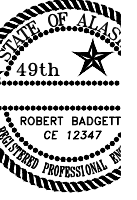


**Jensen
Yorb.
Lot
Ir**

522 West 10th Str
Juneau, Alaska 998
phone 907-586-10
fax 907-586-35
jensenyorballoc.com



R&M ENGINEERING-KET
355 CARLIANA LAKE R
KETCHIKAN, ALASKA 9
PHONE (907) 225-7911
FAX (907) 225-3441
www.rmeketchikan.com



City of Craig
FIRE HALL

BID SET

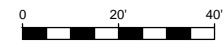
REVISIONS



GRADING AND DRAIN

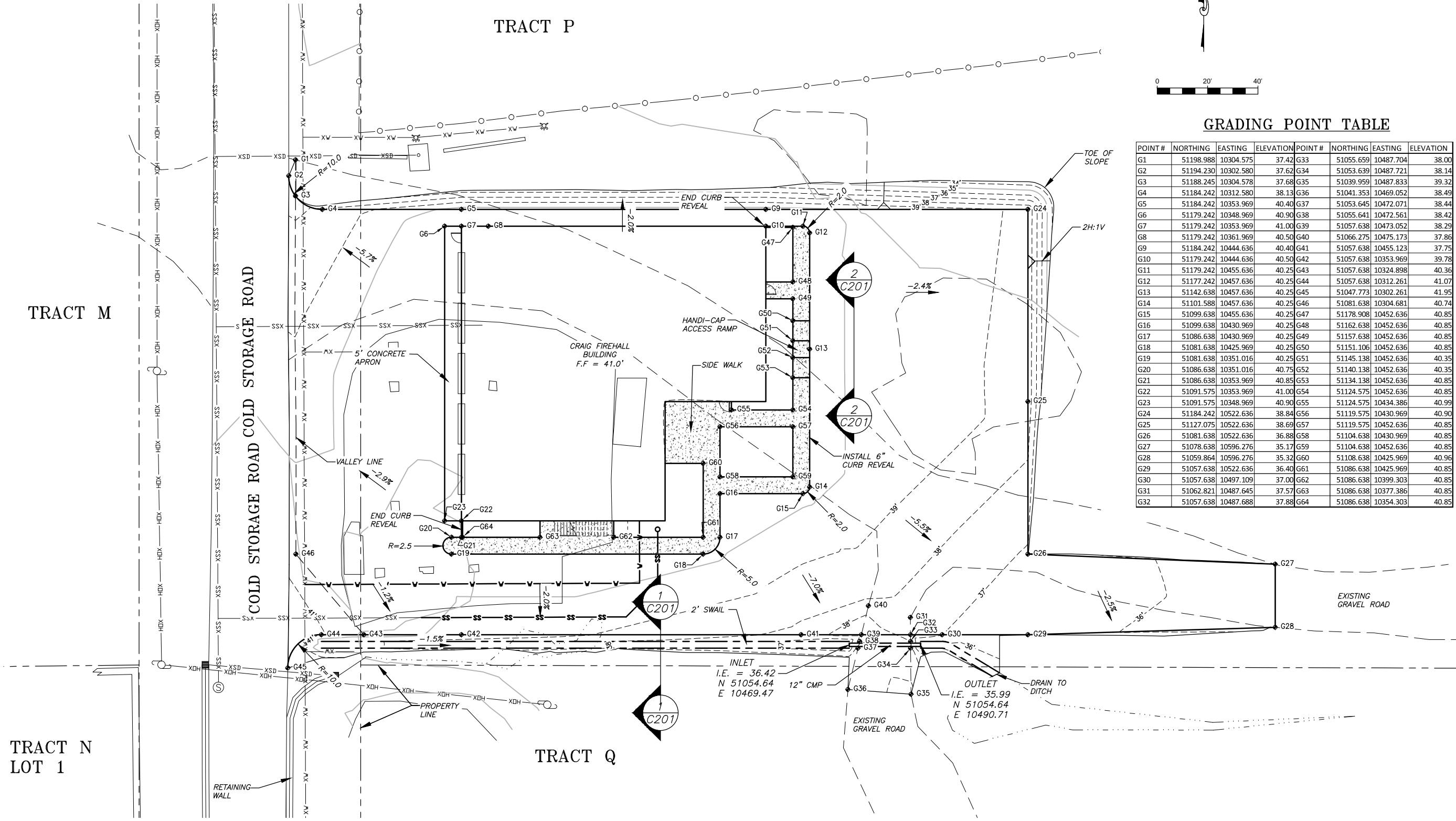
DATE: MARCH 12, 2014
FILE: R&M 132303

C200



GRADING POINT TABLE

| POINT # | NORTHING | EASTING | ELEVATION | POINT # | NORTHING | EASTING | ELEVATION |
|---------|-----------|-----------|-----------|---------|-----------|-----------|-----------|
| G1 | 51198.988 | 10304.575 | 37.42 | G33 | 51055.659 | 10487.704 | 38.00 |
| G2 | 51194.230 | 10302.580 | 37.62 | G34 | 51053.639 | 10487.721 | 38.14 |
| G3 | 51188.245 | 10304.578 | 37.68 | G35 | 51039.959 | 10487.833 | 39.32 |
| G4 | 51184.242 | 10312.580 | 38.13 | G36 | 51041.353 | 10469.052 | 38.49 |
| G5 | 51184.242 | 10353.969 | 40.40 | G37 | 51053.645 | 10472.071 | 38.44 |
| G6 | 51179.242 | 10348.969 | 40.90 | G38 | 51055.641 | 10472.561 | 38.42 |
| G7 | 51179.242 | 10353.969 | 41.00 | G39 | 51057.638 | 10473.052 | 38.29 |
| G8 | 51179.242 | 10361.969 | 40.50 | G40 | 51066.275 | 10475.173 | 37.86 |
| G9 | 51184.242 | 10444.636 | 40.40 | G41 | 51057.638 | 10455.123 | 37.75 |
| G10 | 51179.242 | 10444.636 | 40.50 | G42 | 51057.638 | 10353.969 | 39.78 |
| G11 | 51179.242 | 10455.636 | 40.25 | G43 | 51057.638 | 10324.898 | 40.36 |
| G12 | 51177.242 | 10457.636 | 40.25 | G44 | 51057.638 | 10312.261 | 41.07 |
| G13 | 51142.638 | 10457.636 | 40.25 | G45 | 51047.773 | 10302.261 | 41.95 |
| G14 | 51101.588 | 10457.636 | 40.25 | G46 | 51081.638 | 10304.681 | 40.74 |
| G15 | 51099.638 | 10455.636 | 40.25 | G47 | 51178.908 | 10452.636 | 40.85 |
| G16 | 51099.638 | 10430.969 | 40.25 | G48 | 51162.638 | 10452.636 | 40.85 |
| G17 | 51086.638 | 10430.969 | 40.25 | G49 | 51157.638 | 10452.636 | 40.85 |
| G18 | 51081.638 | 10425.969 | 40.25 | G50 | 51151.106 | 10452.636 | 40.85 |
| G19 | 51081.638 | 10351.016 | 40.25 | G51 | 51145.138 | 10452.636 | 40.35 |
| G20 | 51086.638 | 10351.016 | 40.75 | G52 | 51140.138 | 10452.636 | 40.35 |
| G21 | 51086.638 | 10353.969 | 40.85 | G53 | 51134.138 | 10452.636 | 40.85 |
| G22 | 51091.575 | 10353.969 | 41.00 | G54 | 51124.575 | 10452.636 | 40.85 |
| G23 | 51091.575 | 10348.969 | 40.90 | G55 | 51124.575 | 10434.386 | 40.99 |
| G24 | 51184.242 | 10522.636 | 38.84 | G56 | 51119.575 | 10430.969 | 40.90 |
| G25 | 51127.075 | 10522.636 | 38.69 | G57 | 51119.575 | 10452.636 | 40.85 |
| G26 | 51081.638 | 10522.636 | 36.88 | G58 | 51104.638 | 10430.969 | 40.85 |
| G27 | 51078.638 | 10596.276 | 35.17 | G59 | 51104.638 | 10452.636 | 40.85 |
| G28 | 51059.864 | 10596.276 | 35.32 | G60 | 51108.638 | 10425.969 | 40.96 |
| G29 | 51057.638 | 10522.636 | 36.40 | G61 | 51086.638 | 10425.969 | 40.85 |
| G30 | 51057.638 | 10497.109 | 37.00 | G62 | 51086.638 | 10399.303 | 40.85 |
| G31 | 51062.821 | 10487.645 | 37.57 | G63 | 51086.638 | 10377.386 | 40.85 |
| G32 | 51057.638 | 10487.688 | 37.88 | G64 | 51086.638 | 10354.303 | 40.85 |



TRACT P

TRACT M

TRACT N
LOT 1

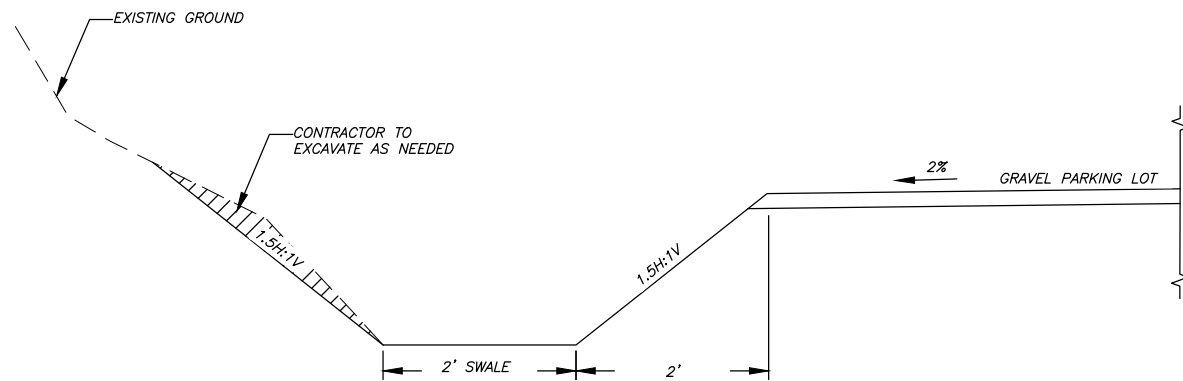
TRACT Q

COLD STORAGE ROAD COLD STORAGE ROAD

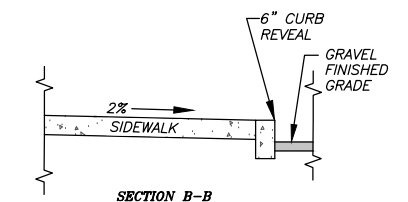
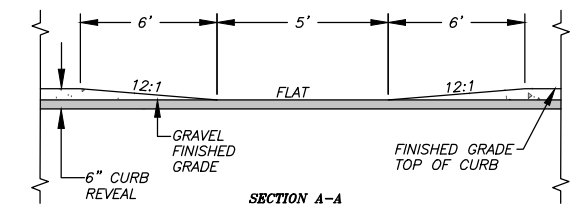
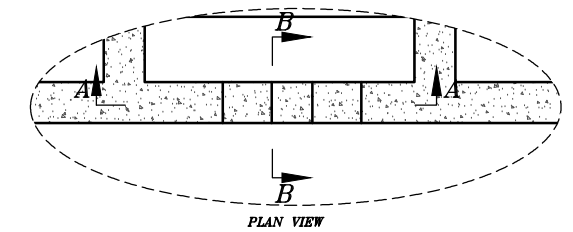
INLET
I.E. = 36.42
N 51054.64
E 10469.47

OUTLET
I.E. = 35.99
N 51054.64
E 10490.71

C200

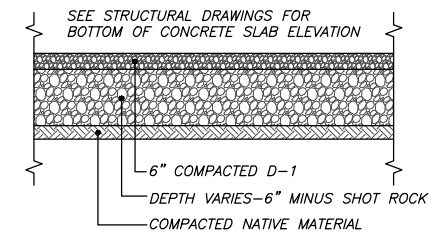


1 SWALE SECTION
NOT TO SCALE

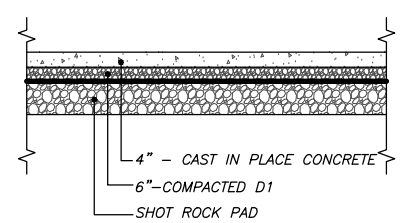


2 DEPRESSED CURB AND SIDEWALK ACCESS RAMP
NOT TO SCALE

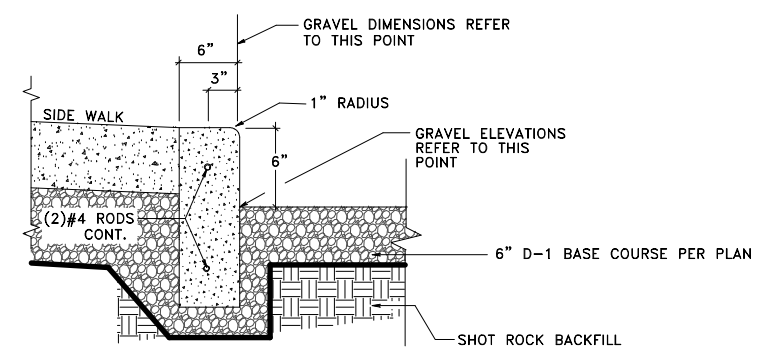
NOTE: CONTRACTOR TO EXCAVATE A MINIMUM OF 1' BELOW THE COMPRESSED ORGANIC MATERIAL LAYER IDENTIFIED IN THE TEST PIT LOG TABLE AND BACKFILL WITH EMBANKMENT ROCK



BUILDING PAD SECTION
NOT TO SCALE

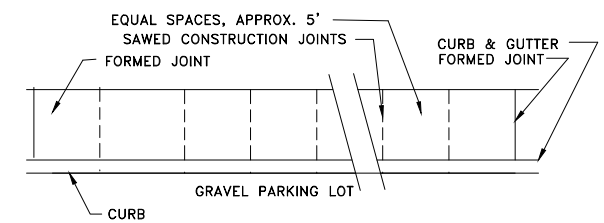


TYPICAL SIDEWALK SECTION
NOT TO SCALE



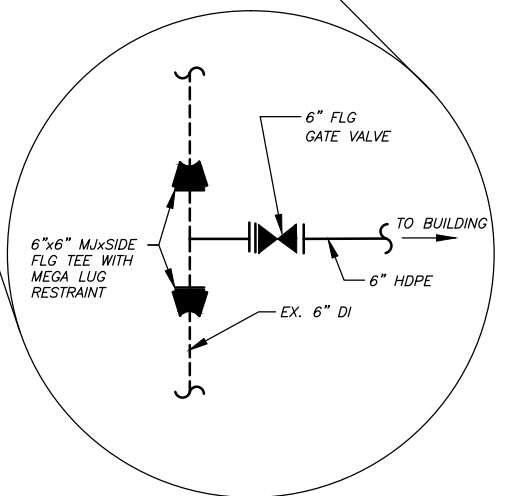
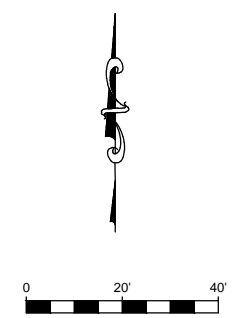
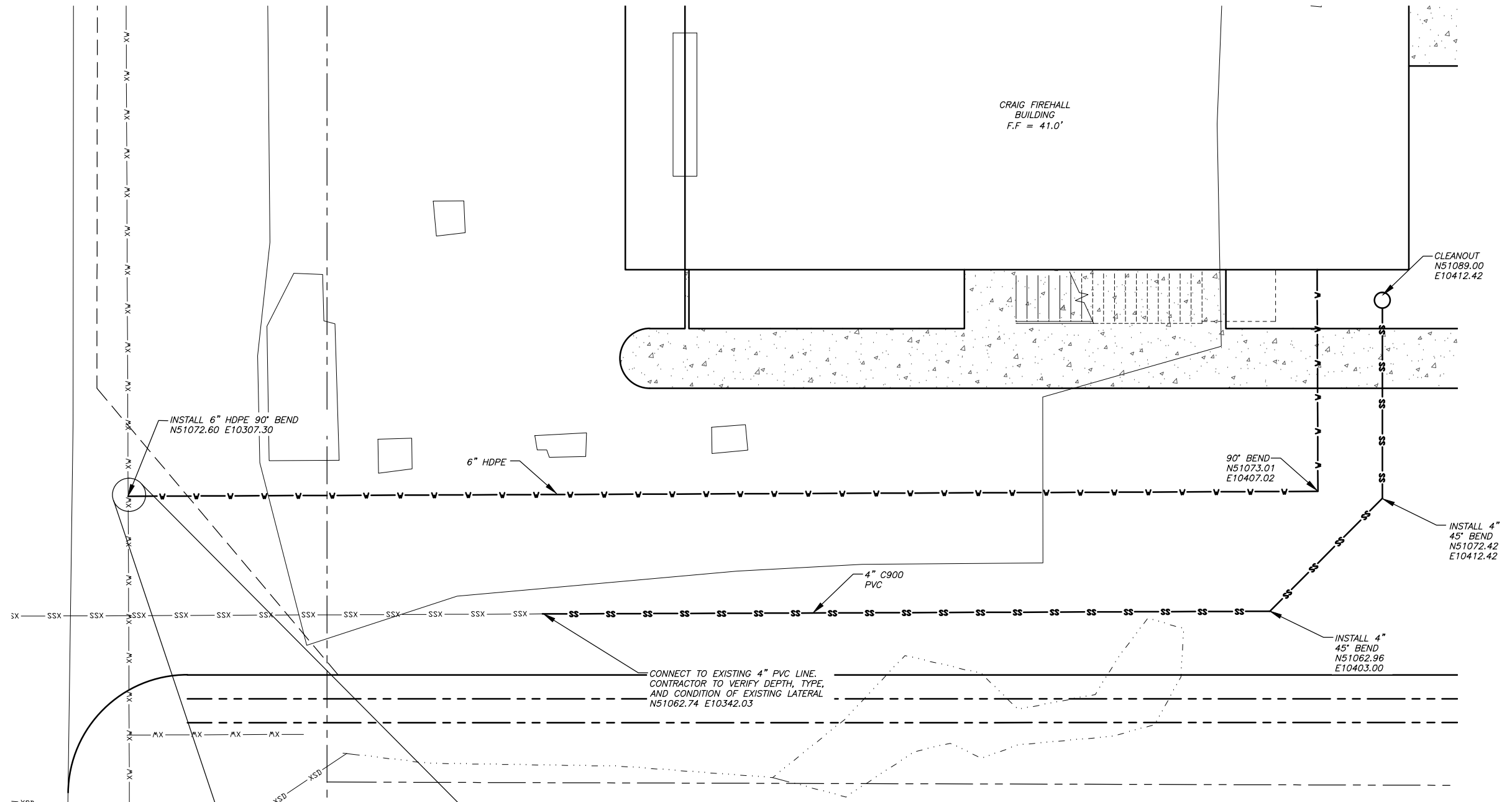
CONCRETE CURB
NOT TO SCALE

NOTE: ALL CURBING TO BE 3000 PSI 28 DAY CONCRETE.

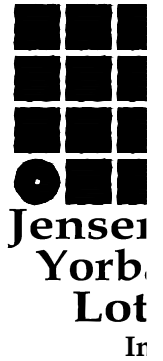


SIDEWALK JOINT DETAIL
NOT TO SCALE

NOTE: LOCATE 1/4" X 3-1/4" PRE-MOLDED FILLER THROUGH THE SIDEWALK AT PAVEMENT AND MATCHING CURB JOINTS. THIS LENGTH SHALL BE DIVIDED INTO EQUAL SPACES BY SAWED OR FORMED CONTRACTION JOINTS 1" DEEP. ALL JOINTS SHALL BE SEALED WITH JOINT SEALING COMPOUND.

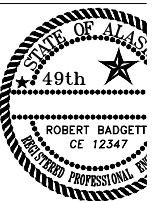


WATER DETAIL #1/C300
NOT TO SCALE



Jensen Yorbalott Inc.
522 West 10th Str
Juneau, Alaska 998
phone 907-586-1100
fax 907-586-3500
jensenyorbalott.com

R&M ENGINEERING-KETCHIKAN
355 CARLANNA LAKE RD
KETCHIKAN, ALASKA 998
PHONE (907) 225-7911
FAX (907) 225-3441
www.rm-ketchikan.com



City of Craig
FIRE HALL

BID SET

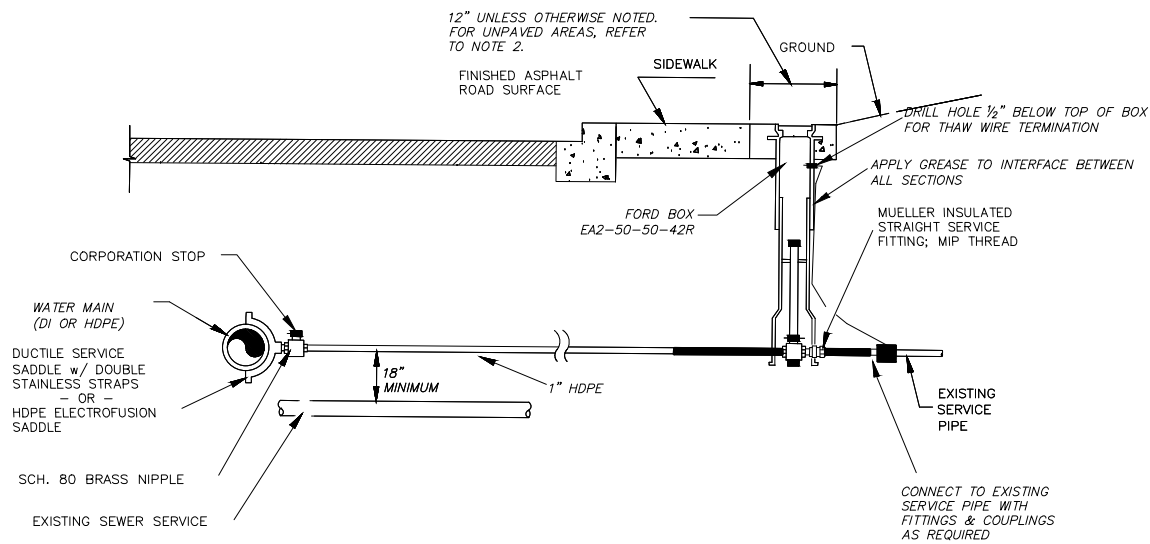
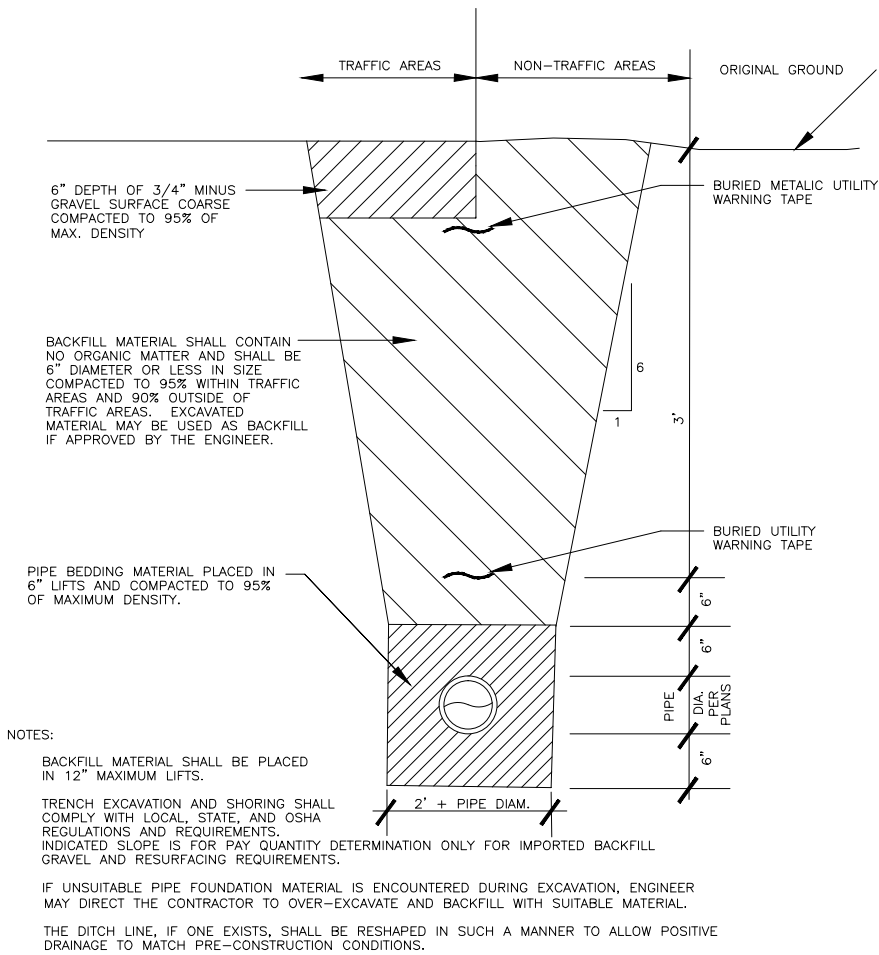
REVISIONS

| | |
|---|--|
| △ | |
| △ | |
| △ | |

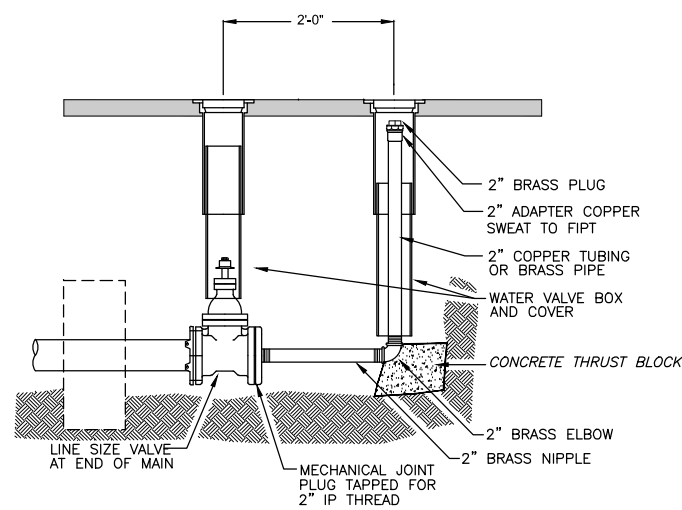
UTILITY PLAN

DATE: MARCH 12, 2014
FILE: R&M 132303

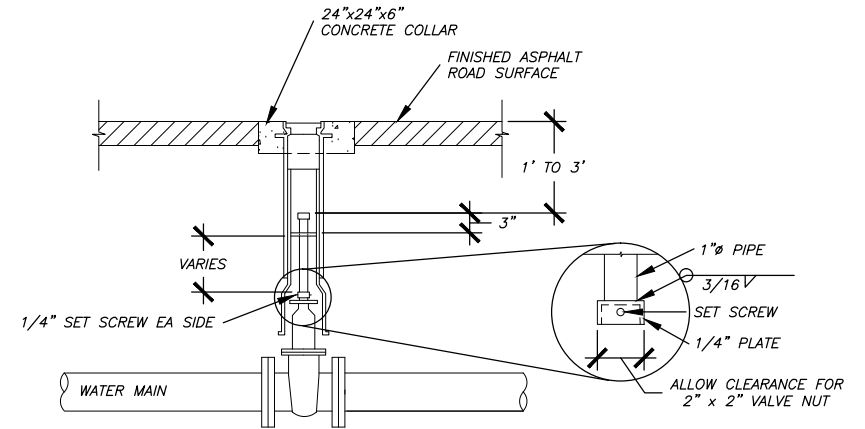
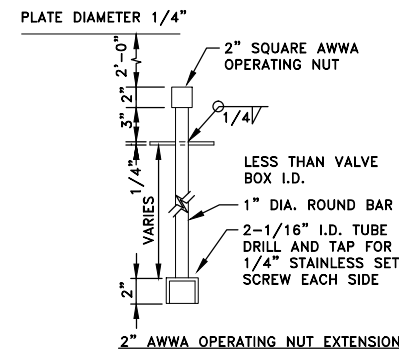
C300



- NOTES:
- INSTALL TOP OF VALVE BOX IN SIDEWALK AS SHOWN, 1/4" BELOW TOP OF PAVED SURFACE.
 - IN AREAS WITHOUT SIDEWALK, INSTALL VALVE BOX 6" BEHIND CURB, 1/4" BELOW PAVED SURFACE OR 3" BELOW UNPAVED SURFACES.
 - ALLOW 12" FOR RAISING VALVE BOX. GREASE THE OVERLAPPING PORTION.
 - A SERVICE VALVE ROD EXTENSION IS REQUIRED ON ALL SERVICE VALVES 6' OR MORE BELOW FINISHED GRADE.
 - EXTEND SERVICE PAST SERVICE VALVE TO EXISTING SERVICE PIPE AS REQUIRED TO ESTABLISH SERVICE OR AS INDICATED ON THE PLANS. WHERE SERVICE EXTENSION IS ABOVE GROUND, PIPE SHALL BE INSULATED WITH 2" OF FOAM INSULATION WITH PROTECTIVE COATING.
 - PLACE BOARD INSULATION w/ BURIED UTILITY WARNING TAPE ABOVE AS REQUIRED.
 - IN UNPAVED STREETS OR AREAS WITHOUT SIDEWALKS, EACH VALVE BOX TO BE SUPPORTED BY A 12"x12"x6" CONCRETE PAD POURED AROUND THE UPPER SERVICE BOX TOP.



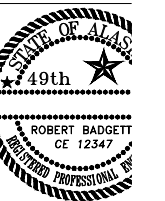
- NOTES:
- This blowoff is to be used at the ends of cul-de-sacs and at the end of water lines that may be extended in the future.
 - Blowoff size must be in accordance with AWWA flushing flow rates, but not less than 2 inches for 8 inch lines and smaller with 4 inches being the next approved size. 3. Blowoff is not to be located in gutter or ditch.
 - The 2 inch fittings shall be brass.
 - Use copper or brass for all piping.



- NOTE: EXTENSION IS REQUIRED ON ALL VALVES WHERE OPERATING NUT IS 6 FT OR MORE BELOW FINISHED SURFACE.
- NOTES:
- NEW VALVE BOX TO ALLOW FOR 12" MINIMUM VERTICAL ADJUSTMENT
 - THREADED VALVE BOX SECTIONS ARE NOT ALLOWED. CONTRACTOR SHALL REMOVE THREADED PORTIONS OF THE VALVE BOX WITH CUT-OFF SAW
 - CONTRACTOR SHALL APPLY GREASE TO ALL INTERFACES BETWEEN VALVE BOX SECTIONS.
 - COMPACTION AROUND VALVE BOX INSTALLATION IS CRITICAL. CONTRACTOR SHALL EMPLOY MECHANICAL TAMPING METHODS TO ENSURE THAT MATERIAL AROUND VALVE BOX REACHES 95% OF MAXIMUM COMPACTION.
 - CONTRACTOR SHALL INSTALL A 6" MINIMUM THICKNESS OF D-1 BEDDING AROUND VALVE BOX DURING BACKFILL.
 - EXTENSION IS REQUIRED ON ALL VALVES WHERE OPERATING NUT IS 6.0' OR MORE BELOW FINISHED SURFACE.



522 West 10th Str
Juneau, Alaska 998
phone 907-586-10
fax 907-586-35
jensenyorbalott.c



City of Craig
FIRE HALL

BID SET

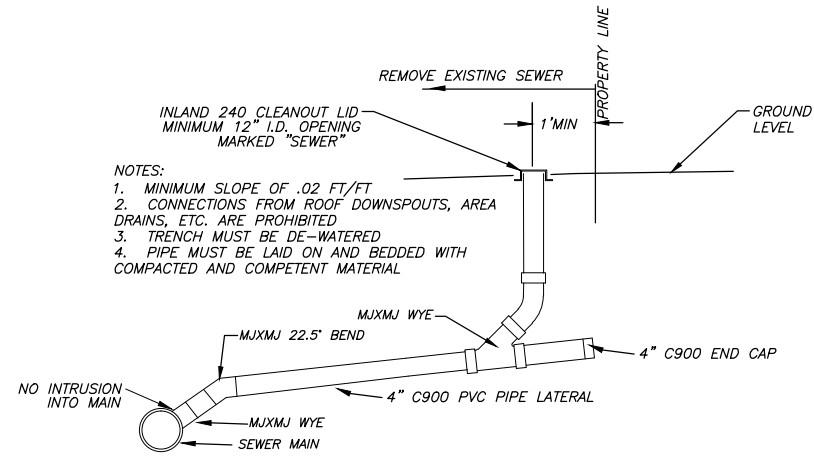
REVISIONS

| | |
|---|--|
| ▲ | |
| ▲ | |
| ▲ | |

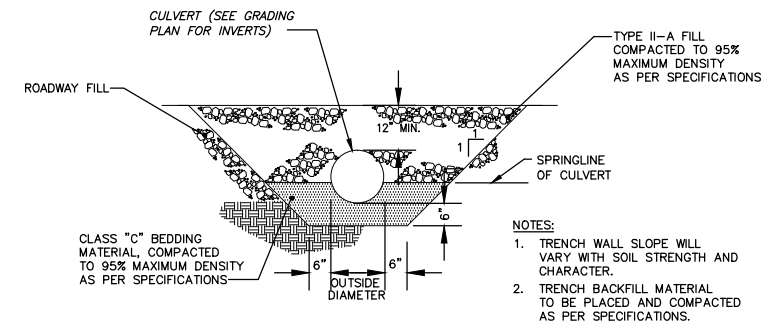
WATER DETAILS

DATE: MARCH 12, 2014
FILE: R&M 132303

C400



1 SEWER LATERAL PROFILE
C401 NOT TO SCALE



2 SECTION THROUGH CULVERT
C401 NOT TO SCALE

BID SET

REVISIONS



STORM AND SANITARY

DATE: MARCH 12, 2014
FILE: R&M 132303

SYMBOLS

| | | | | | |
|--|-----|-------------------------------------|--|--|------------------------------|
| | LP | PROPANE | | | CONSTRUCTION NOTE |
| | CW | COLD WATER | | | THERMOSTAT - IMMERSION, ROOM |
| | HW | HOT WATER | | | THERMOMETER |
| | HWR | HOT WATER RETURN | | | PRESSURE GAGE |
| | V | VENT | | | CONTROL SWITCH |
| | W | WASTE, SOIL, DRAINAGE | | | DIAMETER |
| | | ISOLATING VALVE, GATE OR BALL | | | ACCESS DOOR |
| | | CHECK VALVE | | | UNDERGROUND |
| | | UNION | | | DETAIL CALLOUT |
| | | GLOBE VALVE OR ISOLATING BALL VALVE | | | |
| | DV | DRAIN VALVE | | | |
| | | CAPPED OR PLUGGED | | | |
| | CO | CLEANOUT | | | |
| | FCO | FLOOR CLEANOUT | | | |

CODE NOTES:

- ALL WORK HEREUNDER SHALL BE STRICTLY IN CONFORMANCE WITH APPLICABLE CODES AND REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL FIRE CODE, 2009 INTERNATIONAL MECHANICAL CODE, 2009 UNIFORM PLUMBING CODE, 2009 INTERNATIONAL BUILDING CODE, NFPA, STATE OF ALASKA AND LOCAL MODIFICATION IN SO FAR AS MINIMUM REQUIREMENTS, BUT THE DRAWINGS AND SPECIFICATIONS SHALL GOVERN IN CASES WHERE THE MINIMUM REQUIREMENTS ARE EXCEEDED. ALL ELECTRICAL EQUIPMENT SHALL BEAR THE UL LABEL.

Sheet List Table

| Sheet Number | Sheet Title |
|--------------|-------------------------------------|
| M001 | SYMBOLS & SCHEDULES |
| M100 | OVERALL FOUNDATION FLOOR PLAN |
| M101 | OVERALL FIRST FLOOR PLAN |
| M102 | OVERALL SECOND FLOOR PLAN |
| M201 | ENLARGED DECON 122 PLAN |
| M202 | ENLARGED MENS 104 & WOMENS 105 PLAN |
| M203 | ENLARGED MECH 114 |
| M301 | RADIANT PLAN |
| M401 | DETAILS |
| M402 | DETAILS |
| M403 | DETAILS & DIAGRAMS |

PLUMBING FIXTURE CONNECTION SCHEDULE

| FIXTURE | HOT WATER | COLD WATER | WASTE | VENT |
|---|-----------|------------|-------|--------|
| WATER CLOSET, WC-1 | - | 3/4" | 4 | 2 |
| URINAL, U-1 | - | 1" | 2 | 2 |
| LAVATORY, L-1 | 1/2 | 1/2 | 1-1/2 | 1-1/4 |
| DOUBLE SINK, DS-1, DS-2 | 1/2 | 1/2 | 2 | 1-1/2" |
| SERVICE SINK, SS-1 | 1/2 | 1/2 | 3 | 2 |
| FLOOR DRAIN, FD-1 | - | - | 2 | 1-1/2 |
| FLOOR DRAIN, FD-2 | - | - | 3 | - |
| FLOOR SINK, FS | - | - | 3 | 2 |
| EMERGENCY SHOWER AND EYEWASH COMBO, ESH-1 | 1* | - | - | - |
| SHOWER, SH-1 | 1/2 | 1/2 | 2 | 2 |
| PRIMING LINE | - | 1/2 | - | - |

* TEMPERED HOT WATER

DAMPER SCHEDULE

| NAME | SERVICE | SIZE (WxH) INCHES | FEATURE |
|--------------|-------------------|-------------------|--------------------------------|
| BDD-1 | EF-2 GENERAL DUTY | 20x16 | BACKDRAFT DAMPER |
| BDD-2 | RELIEF AIR DAMPER | 24x18 | BACKDRAFT DAMPER |
| BDD-3, BDD-4 | EA | 16"φ | BACKDRAFT DAMPER |
| BDD-5 | EA | 12"φ | BACKDRAFT DAMPER |
| OAD-1 | MECH 114 | 36x30 | LOW LEAKAGE ACTUATOR ACTIVATED |
| EAD-1 | MECH 114 | 36x30 | LOW LEAKAGE ACTUATOR ACTIVATED |

LOUVER SCHEDULE

| LOUVER | LOCATION | SERVICE | MANUFACTURER/ MODEL | DIMENSIONS (WxH) INCHES |
|--------|-------------------|-------------------|---------------------|-------------------------|
| LV-1 | APPARATUS BAY 107 | RELIF AIR | RUSKIN ELF 6375DXH | 24x18 |
| LV-2 | MECH 114 | GENERATOR EXHAUST | RUSKIN ELF 6375DXH | 36x30 |
| LV-3 | MECH 114 | GENERATOR INTAKE | RUSKIN ELF 6375DXH | 36x30 |

FAN SCHEDULE

| EQUIPMENT | AREA SERVED | CFM | TSP, INCHES OF WATER | DESIGN MANUFACTURER AND MODEL | ELECTRICAL DATA | VOLTS / PHASE | FEATURES AND ACCESSORIES |
|-----------|-------------------|------|----------------------|-------------------------------|-----------------|---------------|---|
| TEF-1 | MENS 104 | 150 | 0.2 | GREENHECK SP-B150 | 1.70 A | 115 / 1φ | CONTROLLED WITH CEILING MOUNTED OCCUPANCY SENSOR WITH ADJUSTABLE 15MIN DELAY - IEW. BACKDRAFT DAMPER & WALL CAP |
| TEF-2 | WOMENS 105 | 80 | 0.2 | GREENHECK SP-B110 | 1.14 A | 115 / 1φ | CONTROLLED WITH CEILING MOUNTED OCCUPANCY SENSOR WITH ADJUSTABLE 15MIN DELAY - IEW. BACKDRAFT DAMPER & WALL CAP |
| TEF-3 | MENS | 110 | 0.2 | GREENHECK SP-B150 | 1.70 A | 115 / 1φ | CONTROLLED WITH CEILING MOUNTED OCCUPANCY SENSOR WITH ADJUSTABLE 15MIN DELAY - IEW. BACKDRAFT DAMPER & WALL CAP |
| EF-1 | DECON 112 | 80 | 0.2 | GREENHECK SP-B110 | 1.14 A | 115 / 1φ | MANUAL SWITCH - IEW. BACKDRAFT DAMPER & WALL CAP. MANUAL SWITCH - IEW |
| EF-2 | APPARATUS BAY 107 | 2500 | 0.625 | GREENHECK CWB-161 | 3/4HP | 208V / 3φ | BELT DRIVE CENTRIFUGAL SIDEWALL EXHAUST FAN. MANUAL SWITCH - IEW |
| EF-6 | STORAGE 109 | 80 | 0.2 | GREENHECK SP-B110-QD | 1.14 A | 115 / 1φ | MANUAL SWITCH - IEW. BACKDRAFT DAMPER & WALL CAP. MANUAL SWITCH - IEW |

VEHICLE EXHAUST SCHEDULE

| EQUIPMENT | AREA SERVED | CFM | TSP, INCHES OF WATER | DESIGN MANUFACTURER AND MODEL | ELECTRICAL DATA | VOLTS / PHASE | FEATURES AND ACCESSORIES |
|-----------|-------------------|------|----------------------|-------------------------------|-----------------|---------------|---|
| EF-3 | APPARATUS BAY 107 | 750 | 7.5 | GREENHECK 7-IPA | 3 HP | 208V / 3φ | SUSPENDED. SERVES ONE VEHICLE. REMOTE ACTIVATED THROUGH VEHICLE IGNITION. PREMIUM EFFICIENCY TEFC MOTOR |
| EF-4 | APPARATUS BAY 107 | 1500 | 6.5 | GREENHECK 7-IPA | 3 HP | 208V / 3φ | SUSPENDED. SERVES TWO VEHICLE. REMOTE ACTIVATED THROUGH VEHICLE IGNITION. PREMIUM EFFICIENCY TEFC MOTOR |
| EF-5 | APPARATUS BAY 107 | 1500 | 6.5 | GREENHECK 9-IPA | 3 HP | 208V / 3φ | SUSPENDED. SERVES TWO VEHICLE. REMOTE ACTIVATED THROUGH VEHICLE IGNITION. PREMIUM EFFICIENCY TEFC MOTOR |

PLUMBING EQUIPMENT SCHEDULE

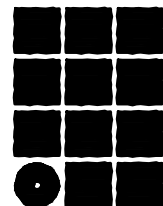
| EQUIPMENT | DESIGN MANUFACTURER | OPTIONS/TRIM |
|---------------------------|--------------------------|---|
| WATER CLOSET, WC-1 | KOHLER, HIGHLINE K-3493 | FLOOR MOUNTED TANK TYPE, PRESSURE ASSIST VITREOUS CHINA CLOSET BOWL, ELONGATED RIM. MAXIMUM 1.6 GALLON FLUSH. TO BE ADA HEIGHT. |
| URINAL, U-1 | KOHLER, BARDON K-4960-ET | VITREOUS CHINA, WALL HUNG WASHOUT URINAL WITH SHIELDS, INTEGRAL TRAP, ADA APPROVED. MANUAL OPERATED EXPOSED FLUSH VALVE. TO BE MOUNTED AT ADA HEIGHT. |
| LAVATORY, L-1 | KOHLER GREENWICH K-2032 | VITREOUS CHINA WALL HUNG LAVATORY 20 x 18 INCH MINIMUM, DRILLINGS ON 4 INCH CENTERS, OVAL BASIN WITH SPLASH LIP, AND FRONT OVERFLOW. CHROME PLATED SHORT FAUCET. INSULATION SHIELDS ON PLUMBING PIPING FOR ADA COMPLIANCE. |
| DOUBLE SINK, DS-1 | ELKAY LR3319 | 33 x 19 x 6-1/2 INCHES DOUBLE COMPARTMENT BOWL, SELF RIMMING 8-INCH CENTERS. RIGHT SIDE LEDGE DRILLED FOR BUBBLER. ADA COMPATIBLE. |
| DOUBLE SINK, DS-2 | ELKAY WNSF8242 | 45 x 21 x 14 INCHES DOUBLE COMPARTMENT, FLOOR MOUNTED, FOUR LEG, SCULLERY SINK. |
| SERVICE SINK, SS-1 | KOHLER WHITBY | BOWL FLOOR MOUNTED: 28 x 28 x 8 INCH HIGH CORNER TYPE, MOLDED STONE PRODUCT, WITH RIM GUARD AND 3 INCH DRAIN. STAINLESS STEEL STRAINER. TRIM: ASME A112.18.1 EXPOSED WALL TYPE COMBINATION SUPPLY WITH LEVER HANDLES, SPOUT WALL BRACE, VACUUM BREAKER, HOSE END SPOUT. |
| FLOOR DRAIN, FD-1 | ZURN, Z-415 | GALVANIZED CAST IRON TWO PIECE BODY WITH DOUBLE DRAINAGE FLANGE, WEEP HOLES, REVERSIBLE CLAMPING COLLAR, AND ROUND, ADJUSTABLE NICKEL-BRONZE 5 INCH DIAMETER STRAINER WITH SQUARE HOLES. WITH PRIMING LINE CONNECTION. FD 2" WASTE CONNECTION. |
| FLOOR DRAIN, FD-2 | ZURN, Z-679 | EXTRA HEAVY DUTY FOR VEHICLE TRAFFIC. 9-INCH DIAMETER CAST-IRON HEAVY DUTY STRAINER. SEDIMENT BUCKET. 3"WASTE CONNECTION. |
| FLOOR SINK, FS-1 | ZURN Z-1940 | 12"x6"x8" DEEP. WHITE ACID-RESISTING PORCELAIN ENAMEL INTERIOR, COATED CAST IRON BODY WITH ALUMINUM INTERIOR DOME STRAINER AND SEEPAGE FLANGE, 1/2 LOOSE SET GRATE WITH SQUARE OPENINGS. 3-INCH DRAIN. PRIMING LINE CONNECTION. |
| ESH-1 | HAWS 8309 WC | STAINLESS STEEL BARRIER-FREE EMERGENCY SHOWER EYEWASH COMBINATION FIXTURE. STAINLESS STEEL BOWL, ACTUATING ARM, PIPE FITTINGS AND SHOWER HEAD. EYEWASH DUST COVERS. ADA COMPATIBLE |
| SHOWER, SH-1 | AQUATIC 3636BFS | INTERIOR ENCLOSURE DIMENSION 36x36x81 WITH TOP DOME. ADA COMPATIBLE. |
| OIL WATER SEPARATOR OWS-1 | ZURN Z1186 | FACTORY-FABRICATED, CAST-IRON OR STEEL BODY; WITH REMOVABLE SEDIMENT BUCKET OR STRAINER, BAFFLES, VENTS, AND FLOW-CONTROL FITTING ON INLET. |

EQUIPMENT SCHEDULE

| EQUIPMENT | FUNCTION | LOCATION | SIZE/CAPACITY | DESIGN MANUFACTURE AND MODEL | FEATURES AND ACCESSORIES |
|--------------------------------|--------------------------------------|------------|-------------------------------------|------------------------------|---|
| BOILER, B-1 PROPANE | BLDG HEATING | MECHANICAL | 130 MBH, 144 W | RINNAI Q-130SP | PROPANE BOILER, WATER. 120 VOLT, 1 PHASE. DIRECT VENT |
| DWH-1 | DOMESTIC WATER HEATING | MECHANICAL | 50 GALLON | AQ SMITH PRO-MAX GDVT-50 | 50 GALLON PROPANE HOT WATER HEATER. 50,000 BTUH, DIRECT VENT. EPOXY LINED, 2-1/2" INSULATION. |
| EXPANSION TANK (ET-1) HEATING | HYDRONIC HEATING THERMAL EXPANSION | MECHANICAL | 25 GALLON TANK 10 GALLON ACCEPTANCE | AMTROL 100-LBC | ASME. BLADDER TYPE. |
| EXPANSION TANK (ET-2) DOMESTIC | DOMESTIC HOT WATER THERMAL EXPANSION | MECHANICAL | 6 GALLON TANK 3 GALLON ACCEPTANCE | AMTROL ST-12V-C | ASME. SUITABLE FOR POTABLE WATER. |
| AIR SEPARATOR, AS-1 | AIR REMOVAL HEATING SYSTEM | MECHANICAL | 2-INCH | SPIROTHERM JUNIOR VDR | COMBINATION AIR & VENT SEPARATOR. |

PUMP SCHEDULE

| PUMP NUMBER | FUNCTION | GALLONS PER MINUTE (GPM) | HEAD DEVELOPED (FT. OF WATER) | DESIGN MANUFACTURER AND MODEL | MINIMUM HORSEPOWER ELECTRICAL CHARACTERISTICS | FEATURES |
|-------------|-------------------------|--------------------------|-------------------------------|-------------------------------|---|--|
| P-1 | BUILDING HEATING | 6 | 20 | TACO 011 | 1/8 HP, 120V 1φ | IN LINE MOUNTED CENTRIFUGAL UNITIZED. |
| HWRP-1 | HOT WATER RECIRCULATION | 2 | 6 | TACO 003 | 1/40 HP, 120v, 1φ | CARTRIDGE PUMP, PIPE MOUNTED BRONZE OR STAINLESS STEEL CONSTRUCTION. |



**Jensen
Yorba
Lott
Inc.**

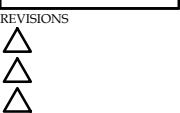
522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbaltott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P O BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907 780-6151 FAX: 907 780-6182

**City of Craig
FIRE HALL
Craig, Alaska**

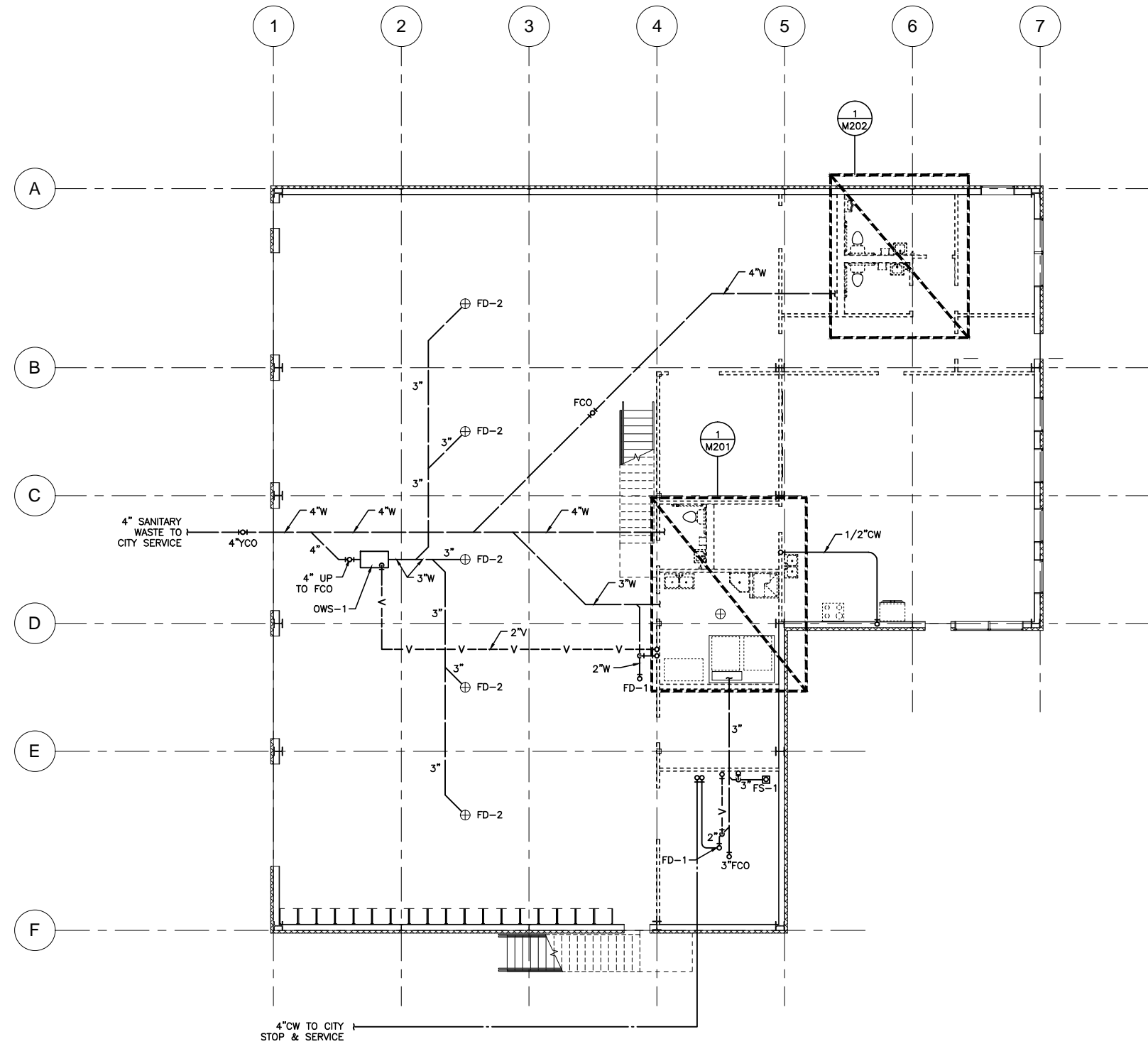
95% REVIEW SET



SHEET TITLE
SYMBOLS &
SCHEDULES

DATE: MARCH 2014
FILE: 13054

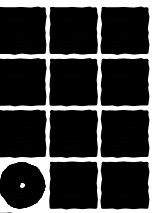
M001



SHEET NOTES:
 1. SEE DIAGRAMS FOR ADDITIONAL INFORMATION.

1 OVERALL FOUNDATION FLOOR PLAN

SCALE: 0 4' 8' 16'



**Jensen
Yorba
Lott
Inc.**

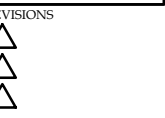
522 West 10th Street
 Juneau, Alaska 99801
 phone 907-586-1070
 fax 907-586-3959
 jensenyorbalott.com

MURRAY &
 ASSOCIATES P.C.
 CONSULTING
 MECHANICAL
 ENGINEERS

P.O. BOX 21081
 JUNEAU, AK 99802
 MURRAYPC.COM
 TEL: 907 780-6151 FAX: 907 780-6182

City of Craig
FIRE HALL
 Craig, Alaska

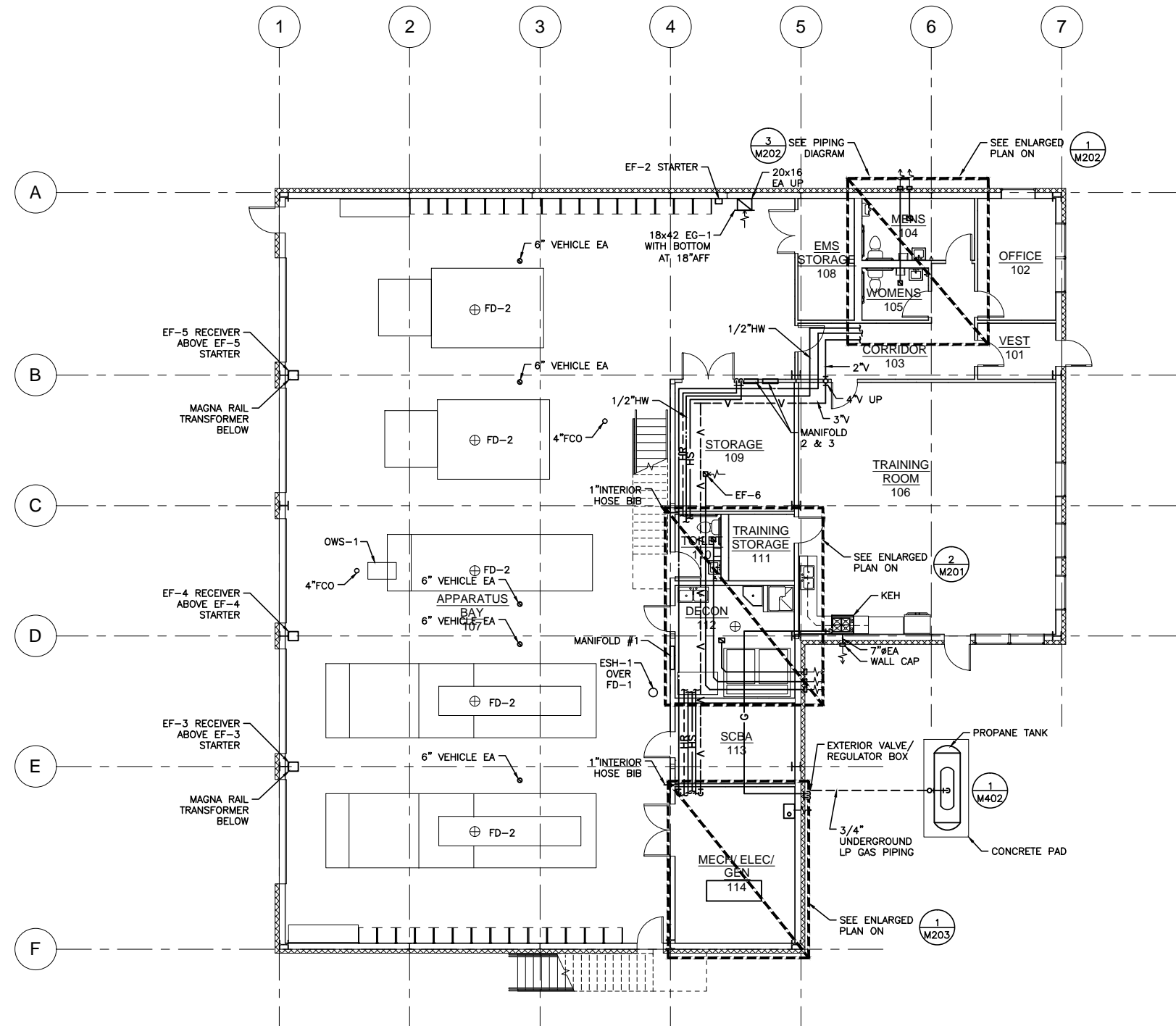
95% REVIEW SET



SHEET TITLE
**OVERALL
 FOUNDATION
 FLOOR PLAN**

DATE: MARCH 2014
 FILE: 13054

M100



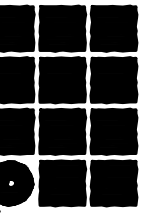
SHEET NOTES:

1. SEE DIAGRAMS FOR ADDITIONAL INFORMATION.
2. LOCATE ALL PIPING IN JOIST SPACE EXCEPT AS SPECIFICALLY NOTED WHERE REQUIRED TO DROP BELOW BEAM.

1 OVERALL FIRST FLOOR PLAN

SCALE: 0 4' 8' 16'

PROJECT NORTH



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbaltott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907.780.6151 FAX: 907.780.6182

City of Craig
FIRE HALL
Craig, Alaska

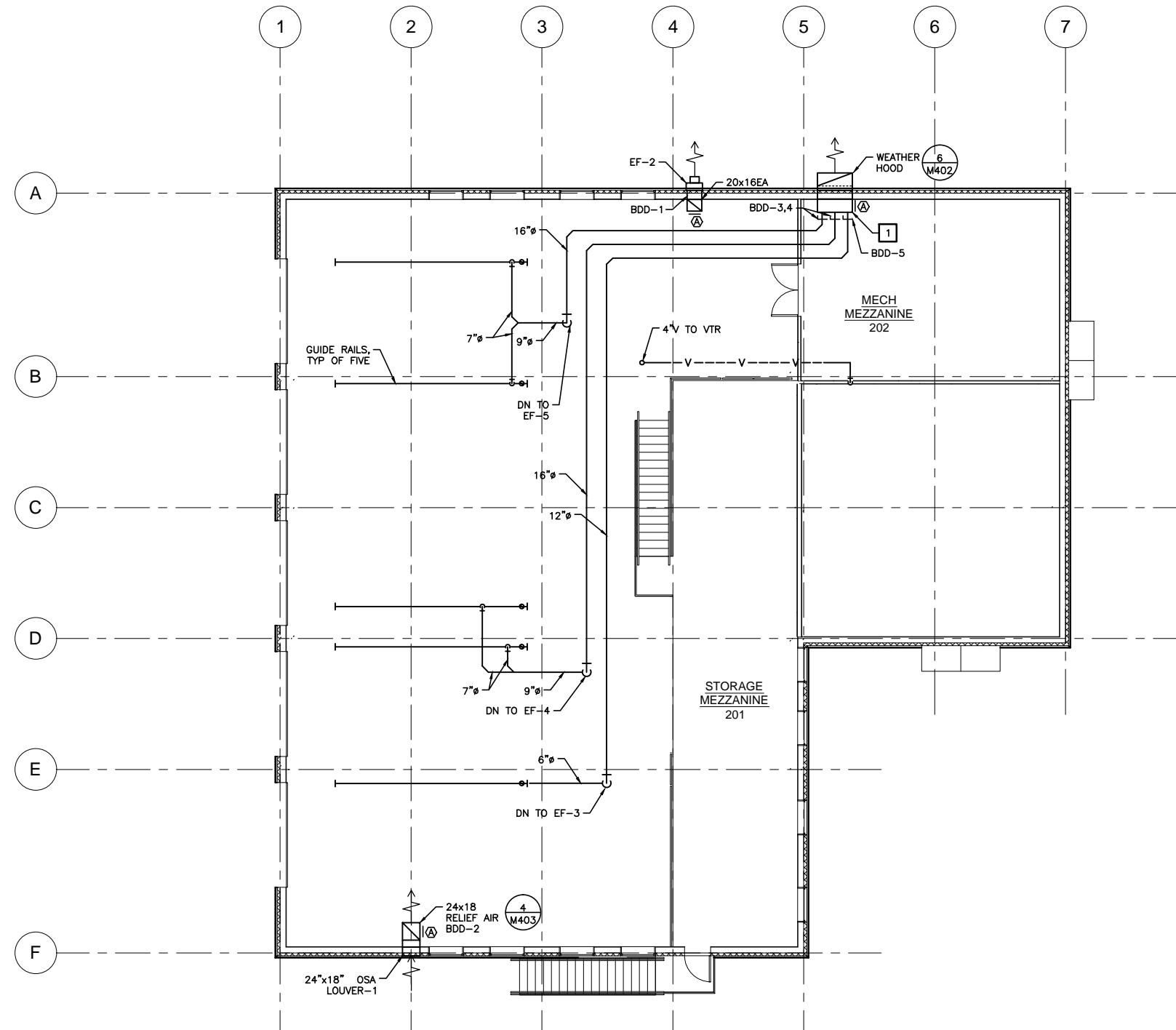
95% REVIEW SET



SHEET TITLE
OVERALL FIRST
FLOOR PLAN

DATE: MARCH 2014
FILE: 13054

M101



SHEET NOTES:

1. SEE DIAGRAMS FOR ADDITIONAL INFORMATION.
2. LOCATE ALL PIPING IN JOIST SPACE EXCEPT AS SPECIFICALLY NOTED WHERE REQUIRED TO DROP BELOW BEAM.

CONSTRUCTION NOTES:

- 1 INSULATE PLENUM.

1 OVERALL SECOND FLOOR PLAN

SCALE: 0 4' 8' 16'

PROJECT NORTH



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907.780.6151 FAX: 907.780.6182

City of Craig
FIRE HALL
Craig, Alaska

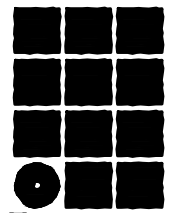
95% REVIEW SET



SHEET TITLE
OVERALL
SECOND FLOOR
PLAN

DATE: MARCH 2014
FILE: 13054

M102



**Jensen
Yorba
Lott
Inc.**

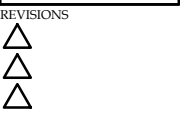
522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907 780-6151 FAX: 907 780-6182

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET



SHEET TITLE
ENLARGED
DECON 122 PLAN

DATE: MARCH 2014
FILE: 13054

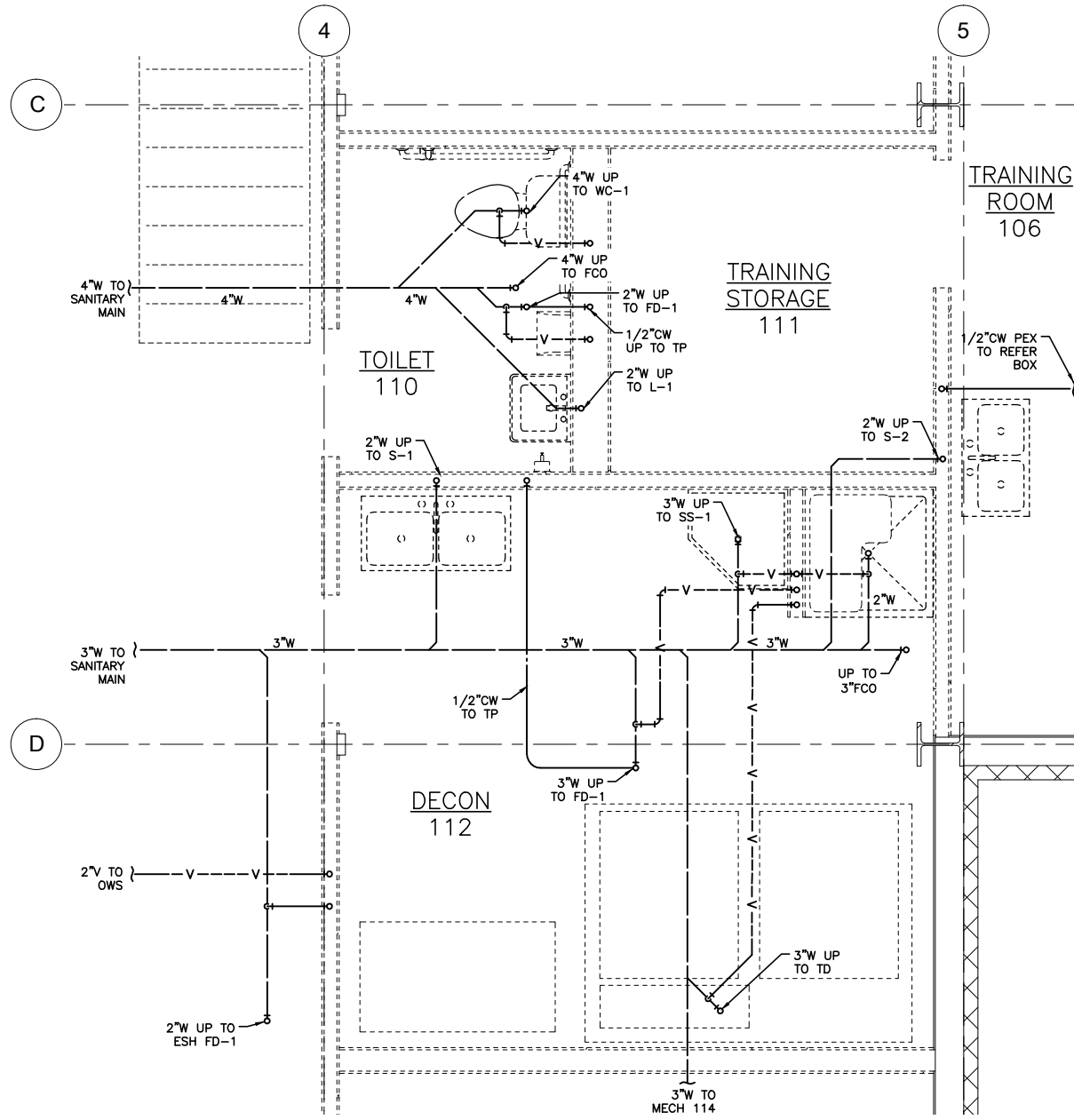
M201

CONSTRUCTION NOTES:

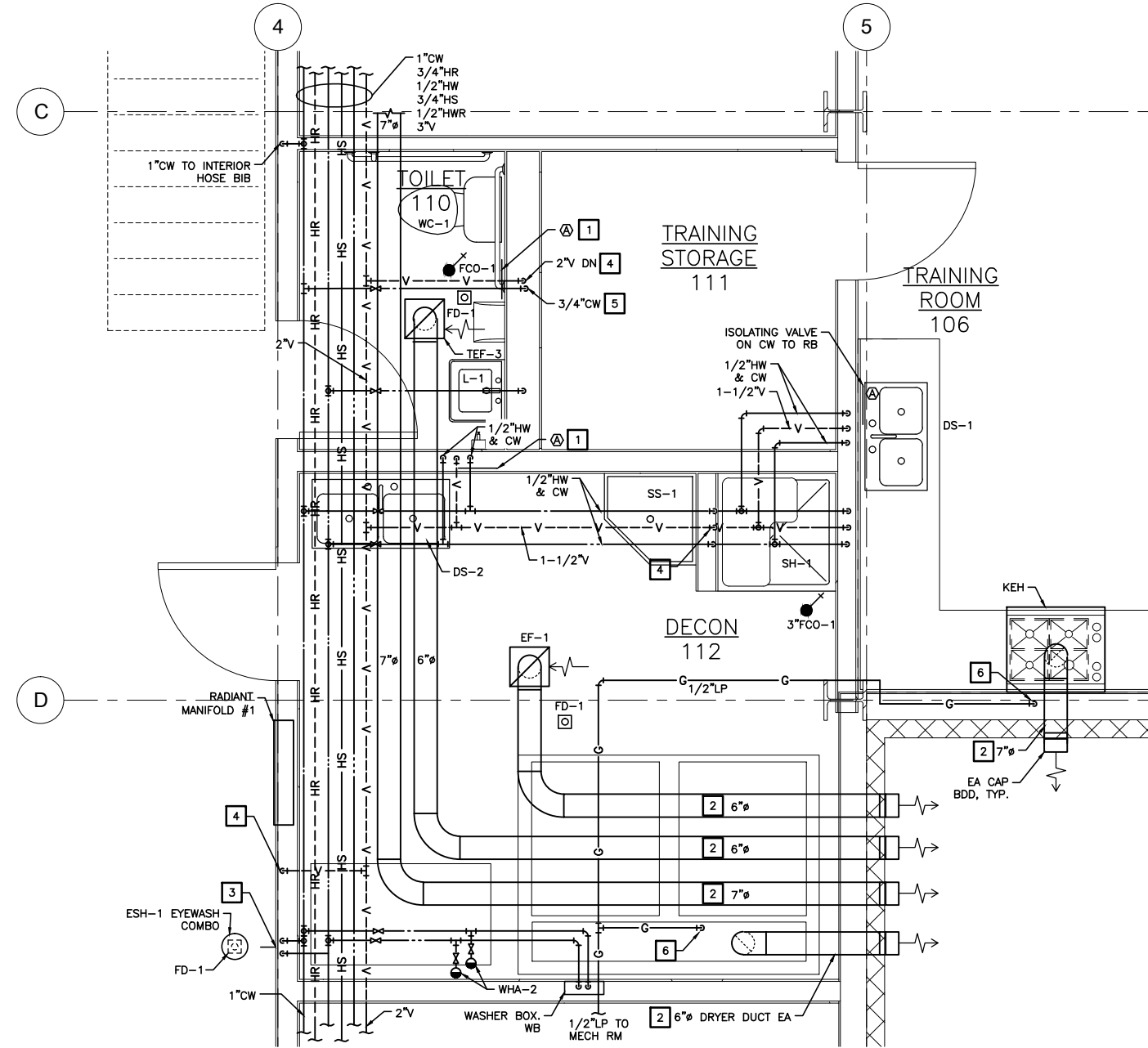
- 1 TRAP PRIMER ASSEMBLY BEHIND ACCESS DOOR.
- 2 INSULATE EA DUCT TO FIVE FEET AWAY FROM EXTERIOR WALL
- 3 3/4" CW & HW LOCATED BEHIND ACCESS DOOR, TO TEMPERING VALVE, TV-2, AND THE 1" TEMPERED HW TO ESH-1
- 4 COMMON VENT
- 5 COMMON 3/4" CW FOR WC AND LAV.
- 6 CONNECT TO EQUIPMENT, INSTALL FLEXIBLE CONNECTION AND ISOLATION VALVE ACCESSIBLE.

SHEET NOTES:

1. SEE DIAGRAMS FOR ADDITIONAL INFORMATION.
2. LOCATE ALL PIPING IN JOIST SPACE EXCEPT AS SPECIFICALLY NOTED WHERE REQUIRED TO DROP BELOW BEAM.

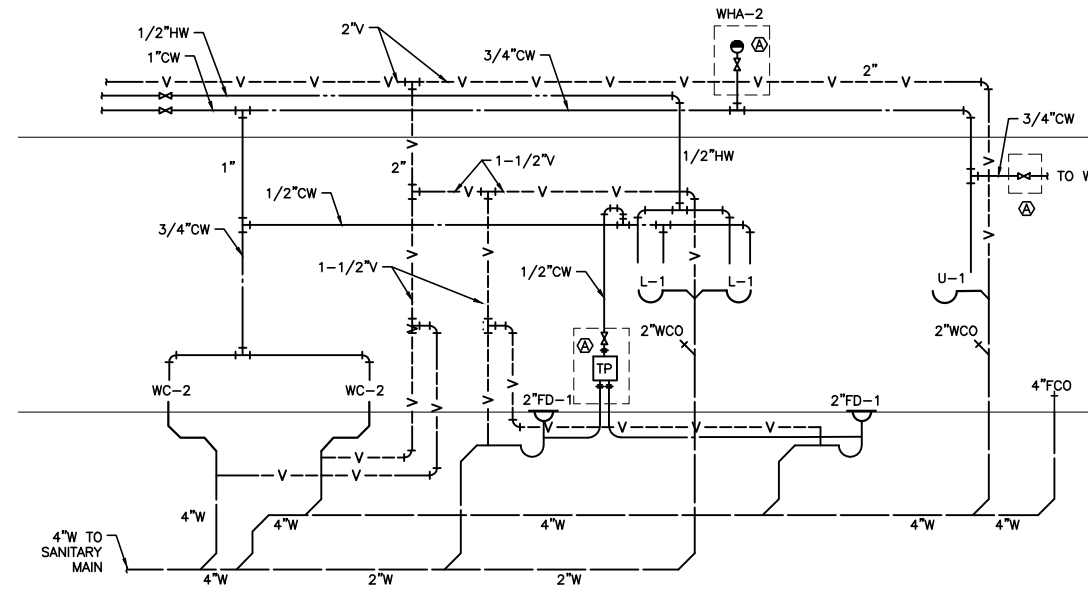


1 ENLARGED DECON 112 FOUNDATION PLAN
SCALE: 0 1' 2' 4'



2 ENLARGED DECON 122 PLAN
SCALE: 0 1' 2' 4'





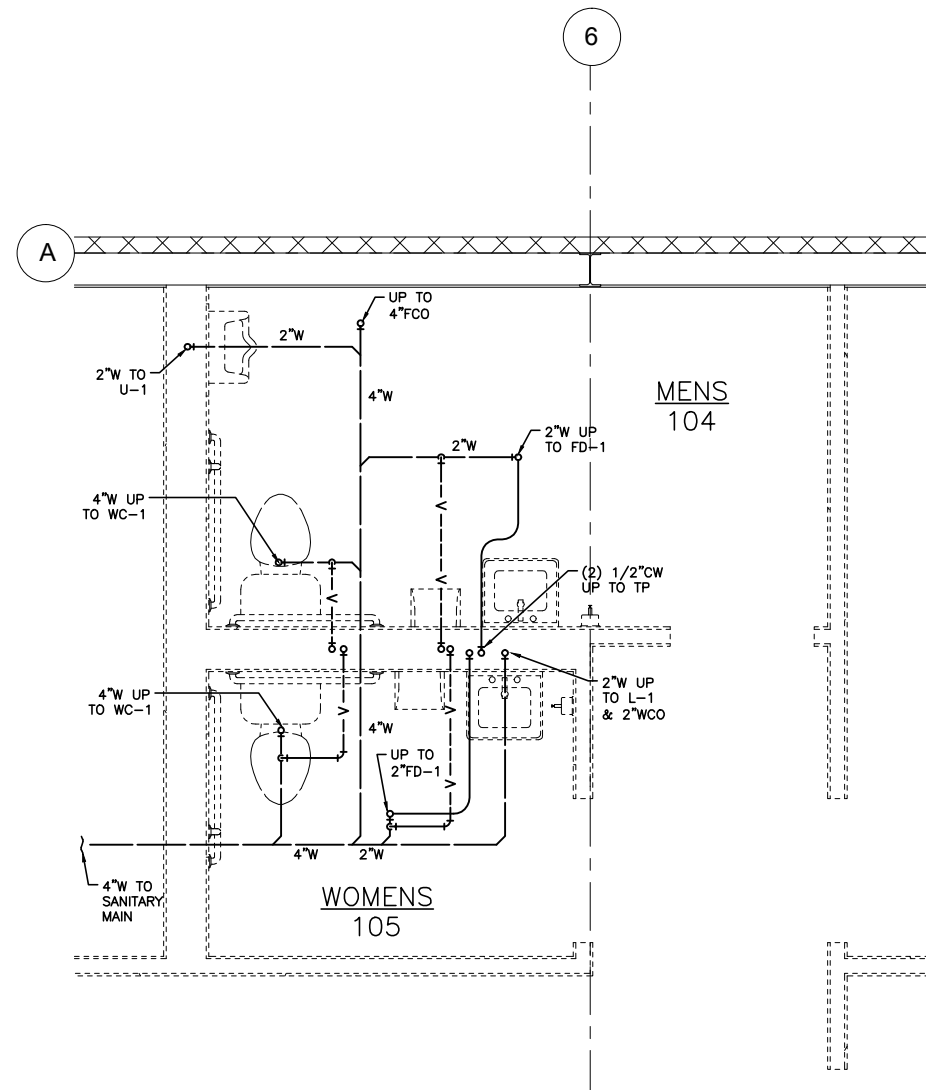
3 MENS 104 & WOMENS 105 PLUMBING DIAGRAM

SHEET NOTES:

1. SEE DIAGRAMS FOR ADDITIONAL INFORMATION.
2. LOCATE ALL PIPING IN JOIST SPACE EXCEPT AS SPECIFICALLY NOTED WHERE REQUIRED TO DROP BELOW BEAM.

CONSTRUCTION NOTES:

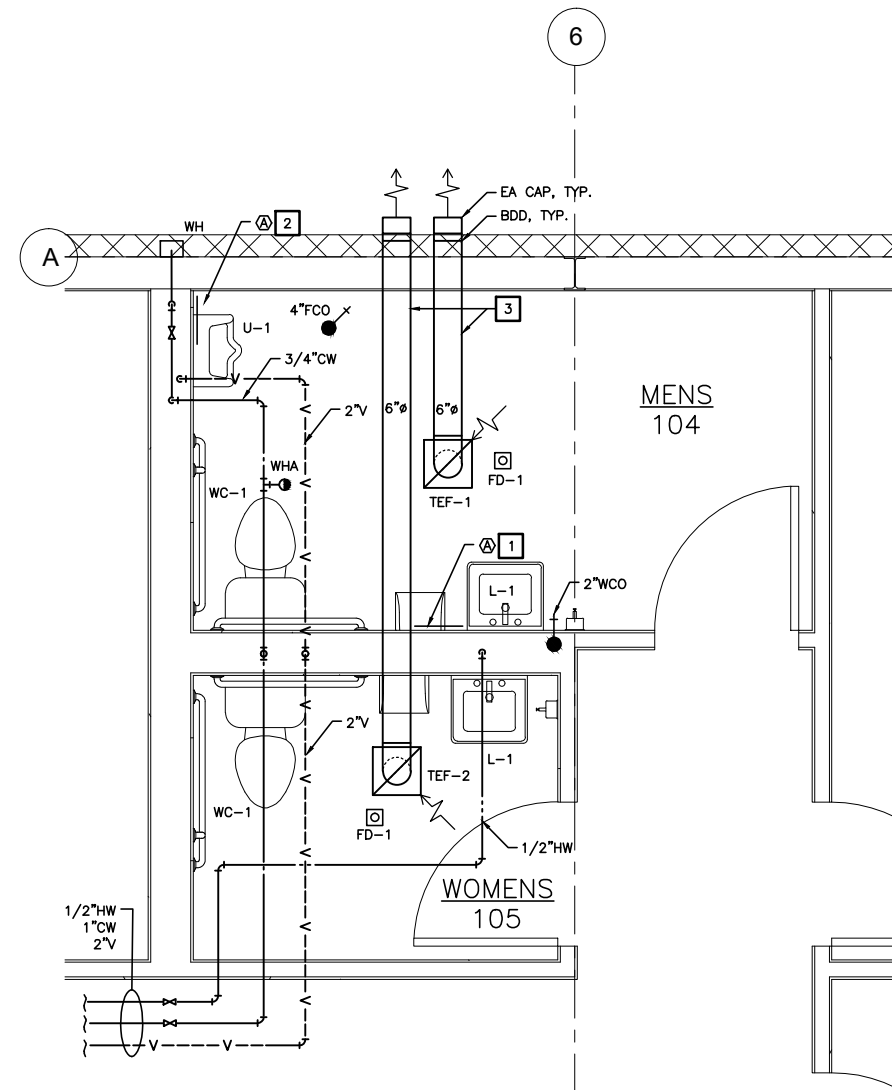
1. TRAP PRIMER ASSEMBLY BEHIND ACCESS DOOR.
2. INSTALL ISOLTING VALVE FOR WH BEHIND 12"x12" @ AT 6'-0" AFF.
3. INSULATE EA DUCT TO FIVE FEET AWAY FROM EXTERIOR WALL.



1 ENLARGED MENS 104 & WOMENS 105 FOUNDATION PLAN

SCALE: 0 4' 8' 16'

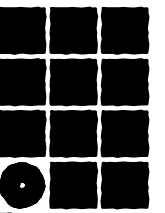
PROJECT NORTH



2 ENLARGED MENS 104 & WOMENS 105 PLAN

SCALE: 0 4' 8' 16'

PROJECT NORTH



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907 780 6151 FAX: 907 780 6182

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET

REVISIONS



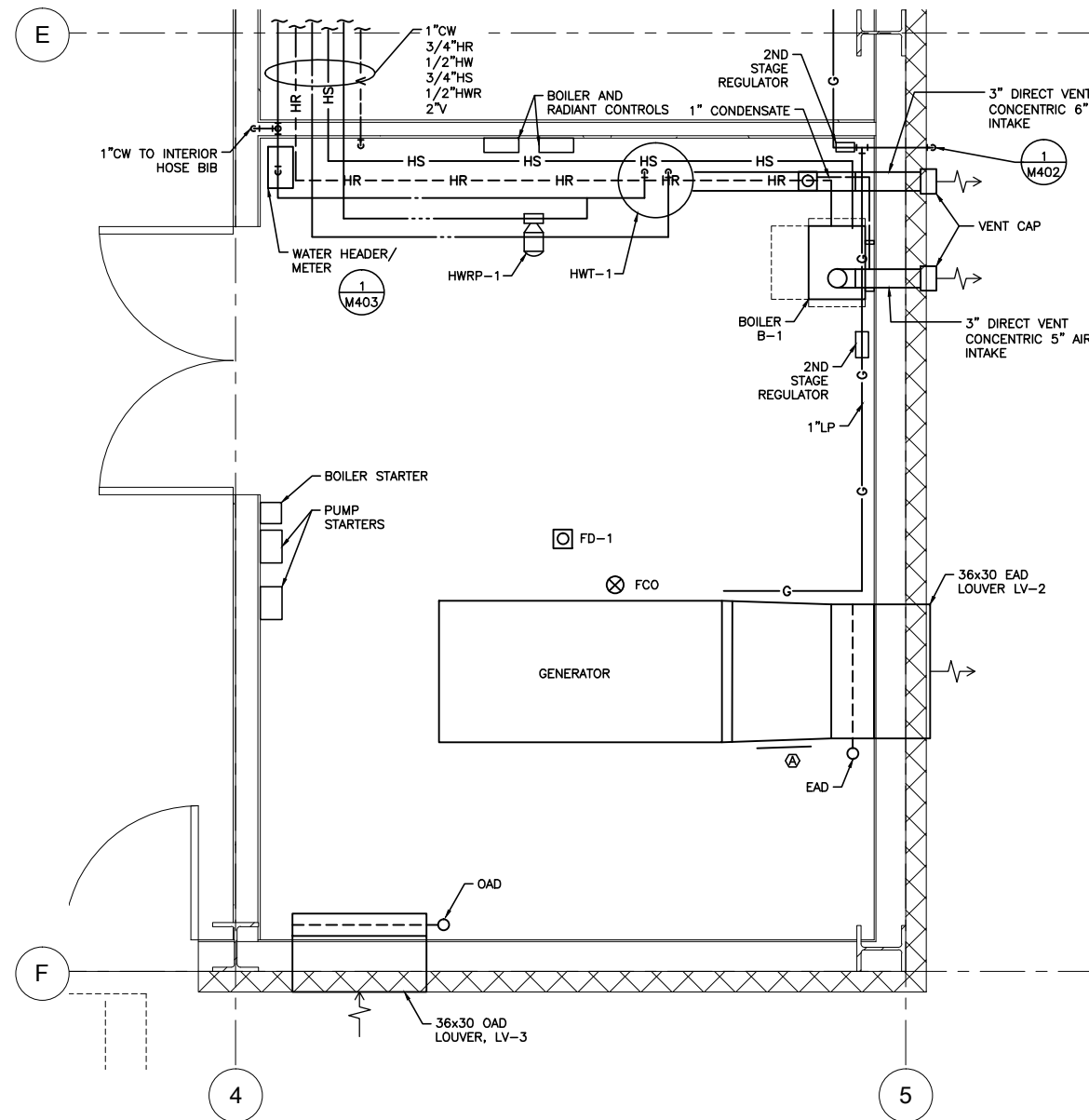
SHEET TITLE
ENLARGED MENS
104 & WOMENS
105 PLAN

DATE: MARCH 2014
FILE: 13054

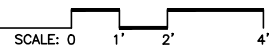
M202

SHEET NOTES:

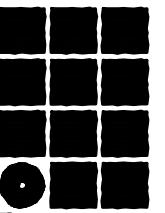
1. SEE DIAGRAMS FOR ADDITIONAL INFORMATION.
2. LOCATE ALL PIPING IN JOIST SPACE EXCEPT AS SPECIFICALLY NOTED WHERE REQUIRED TO DROP BELOW BEAM.



2 ENLARGED MECH 114



PROJECT NORTH



**Jensen
Yorba
Lott
Inc.**

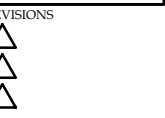
522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbaloott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907-780-6151 FAX: 907-780-6182

City of Craig
FIRE HALL
Craig, Alaska

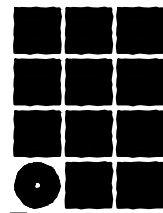
95% REVIEW SET



SHEET TITLE
ENLARGED MECH
114

DATE: MARCH 2014
FILE: 13054

M203



**Jensen
Yorba
Lott
Inc.**

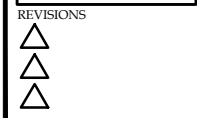
522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907 780-6151 FAX: 907 780-6182

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW SET



SHEET TITLE
RADIANT PLAN

DATE: MARCH 2014
FILE: 13054

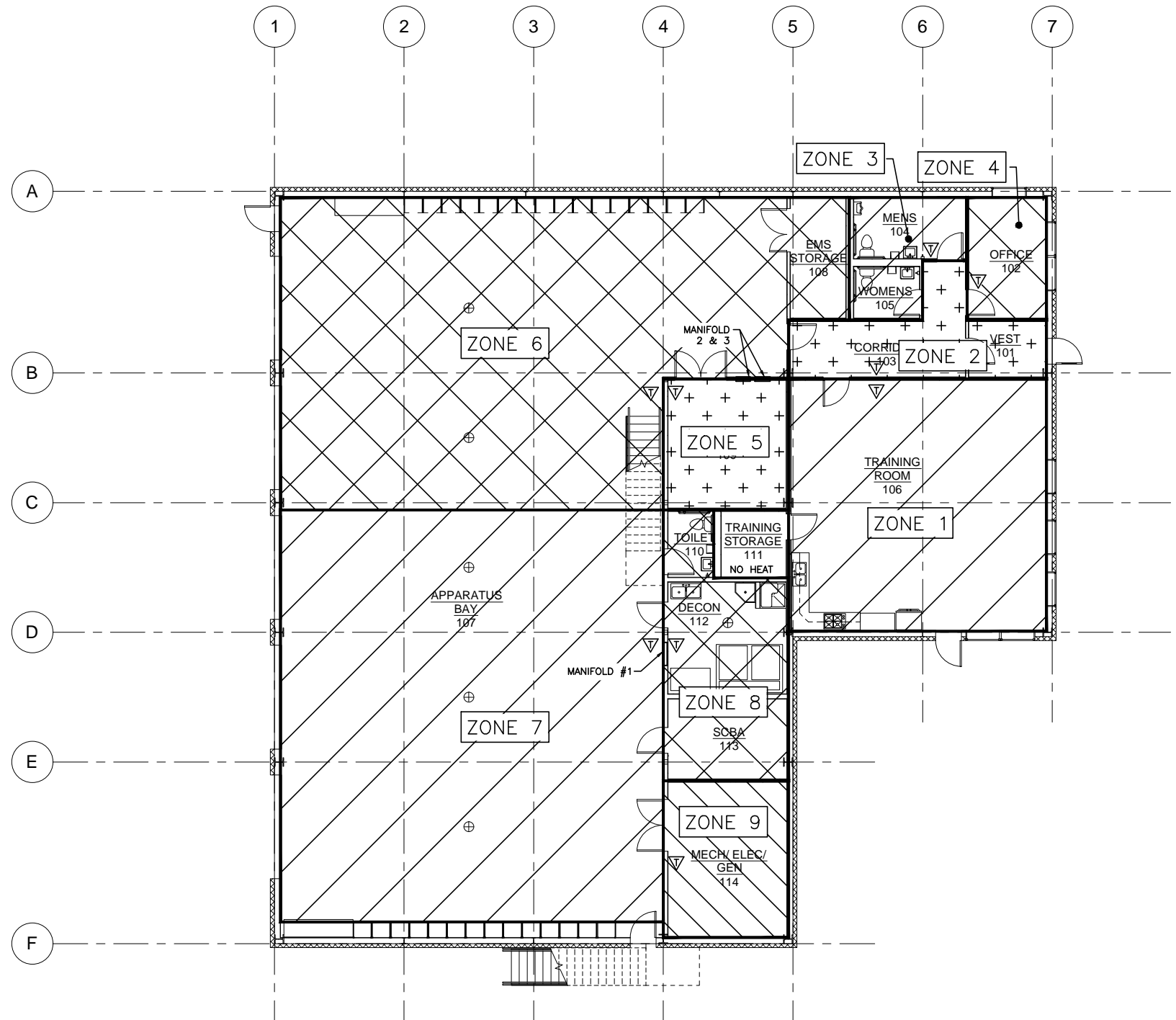
M301

RADIANT HEATING SCHEDULE

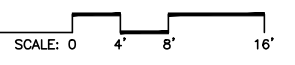
| ZONE | AREA SERVED | APPROXIMATE ZONE AREA | # LOOP | TUBE SPACING O.C. | ESTIMATED AVERAGE TUBE LENGTH FT | ZONE CIRCUIT GPM | MANIFOLD GPM | MANIFOLD # | TUBING SIZE |
|------|------------------------------------|-----------------------|--------|-------------------|----------------------------------|------------------|--------------|------------|-------------|
| 1 | TRAINING | 870 | 4 | 9 | 320 | 0.15 | 0.60 | 3 | 5/8" |
| 2 | VESTIBULE 101, CORRIDOR 103 | 239 | 1 | 9 | 350 | 0.15 | 0.15 | 3 | 5/8" |
| 3 | MENS 104, WOMENS 105 | 158 | 1 | 12 | 190 | 0.2 | 0.20 | 3 | 5/8" |
| 4 | OFFICE 102 | 130 | 1 | 9 | 205 | 0.75 | 0.75 | 3 | 5/8" |
| 5 | STORAGE 109 | 220 | 1 | 12 | 250 | 0.10 | 0.10 | 2 | 5/8" |
| 6 | APPARATUS BAY 107, EMS STORAGE 108 | 2005 | 9 | 9 | 330 | 0.26 | 2.34 | 2 | 5/8" |
| 7 | APPARATUS BAY 107 | 2110 | 9 | 9 | 345 | 0.26 | 2.34 | 1 | 5/8" |
| 8 | TOILET 110, DECON 112, SCBA 113 | 386 | 2 | 12 | 225 | 0.2 | 0.40 | 1 | 5/8" |
| 9 | MECH/ELEC/GEN 114 | 260 | 1 | 12 | 300 | 1.0 | 1.0 | 1 | 5/8" |

SHEET NOTES:

- SEE DIAGRAMS FOR ADDITIONAL INFORMATION.
- LOCATE ALL PIPING IN JOIST SPACE EXCEPT AS SPECIFICALLY NOTED WHERE REQUIRED TO DROP BELOW BEAM.
- CONTRACTOR SHALL PROVIDE CALCULATIONS, SHOP DRAWINGS, AND PRODUCT DATA FOR RADIANT FLOOR HEATING SYSTEM.

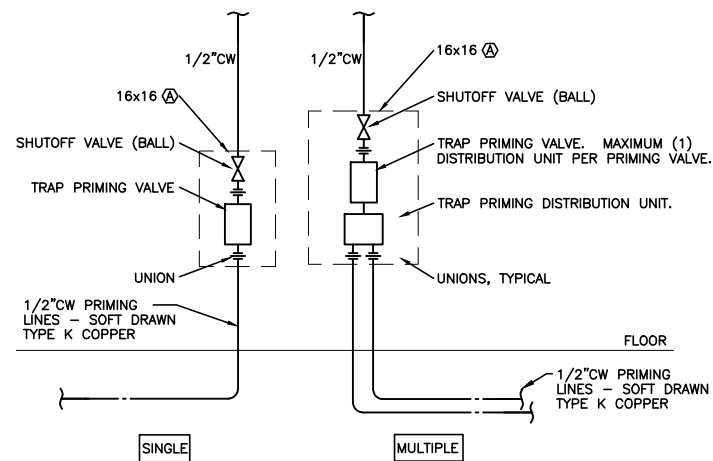


1 RADIANT PLAN

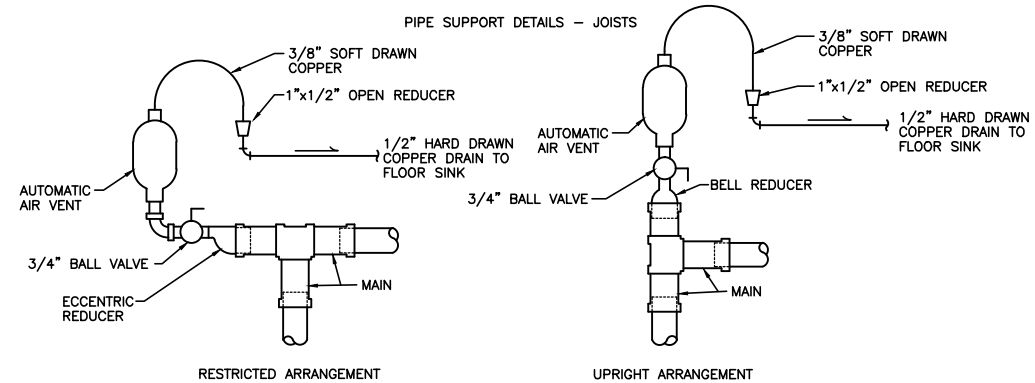


PROJECT NORTH

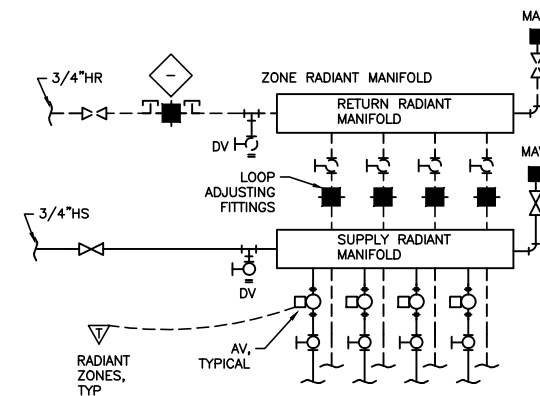




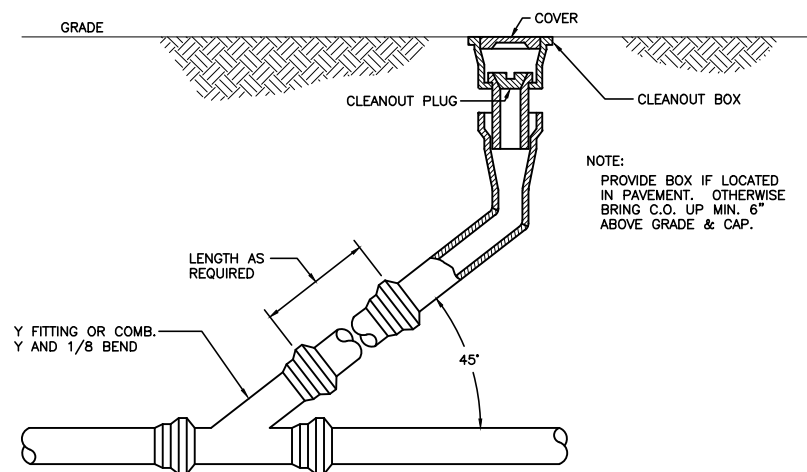
1 TRAP PRIMER DETAIL
NO SCALE



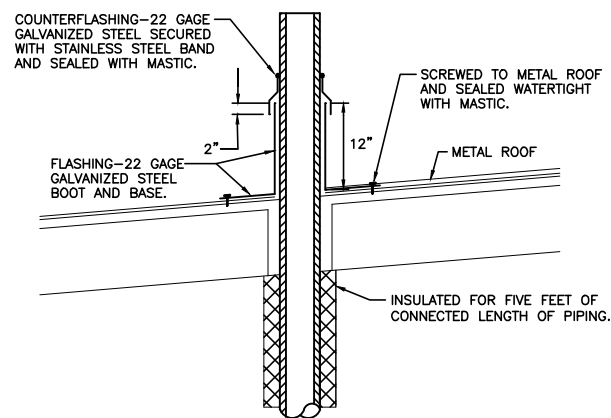
2 AUTOMATIC AIR VENT DETAIL
NO SCALE



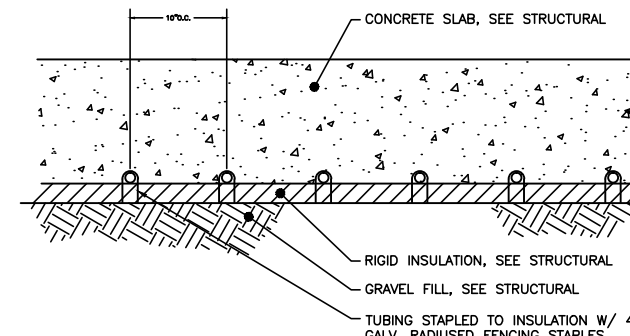
3 RADIANT MANIFOLD DETAILS
NO SCALE



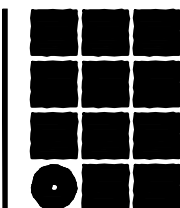
4 YARD CLEANOUT DETAIL
NO SCALE



5 VENT THROUGH ROOF DETAILS
NO SCALE



6 RADIANT FLOOR PIPING DETAIL
NO SCALE



**Jensen
Yorba
Lott
Inc.**

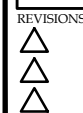
522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalott.com

MURRAY &
ASSOCIATES P.C.
CONSULTING
MECHANICAL
ENGINEERS

P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907-780-6151 FAX: 907-780-6182

City of Craig
FIRE HALL
Craig, Alaska

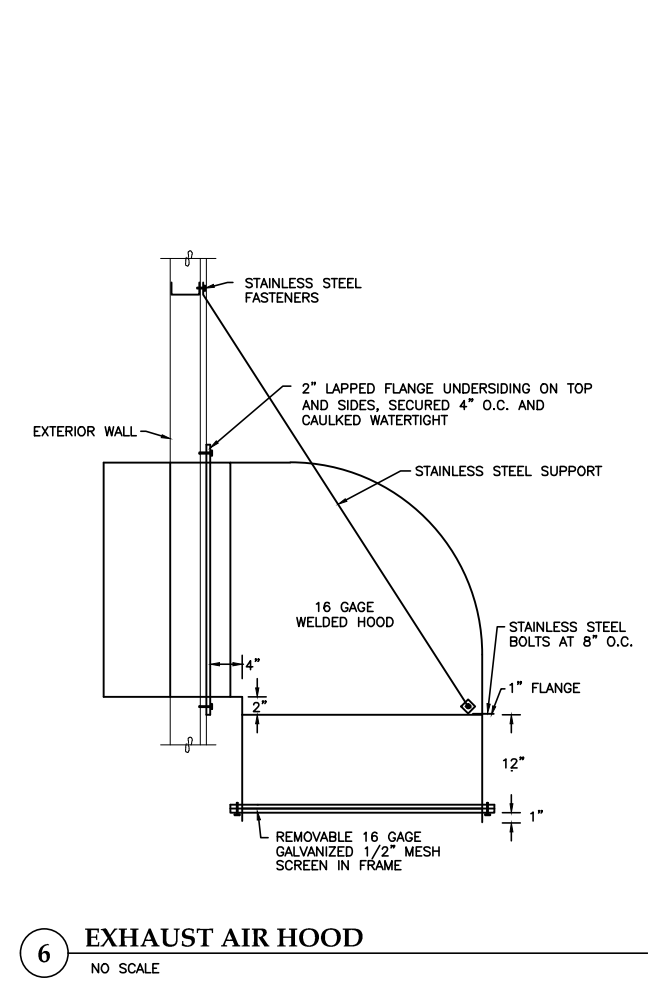
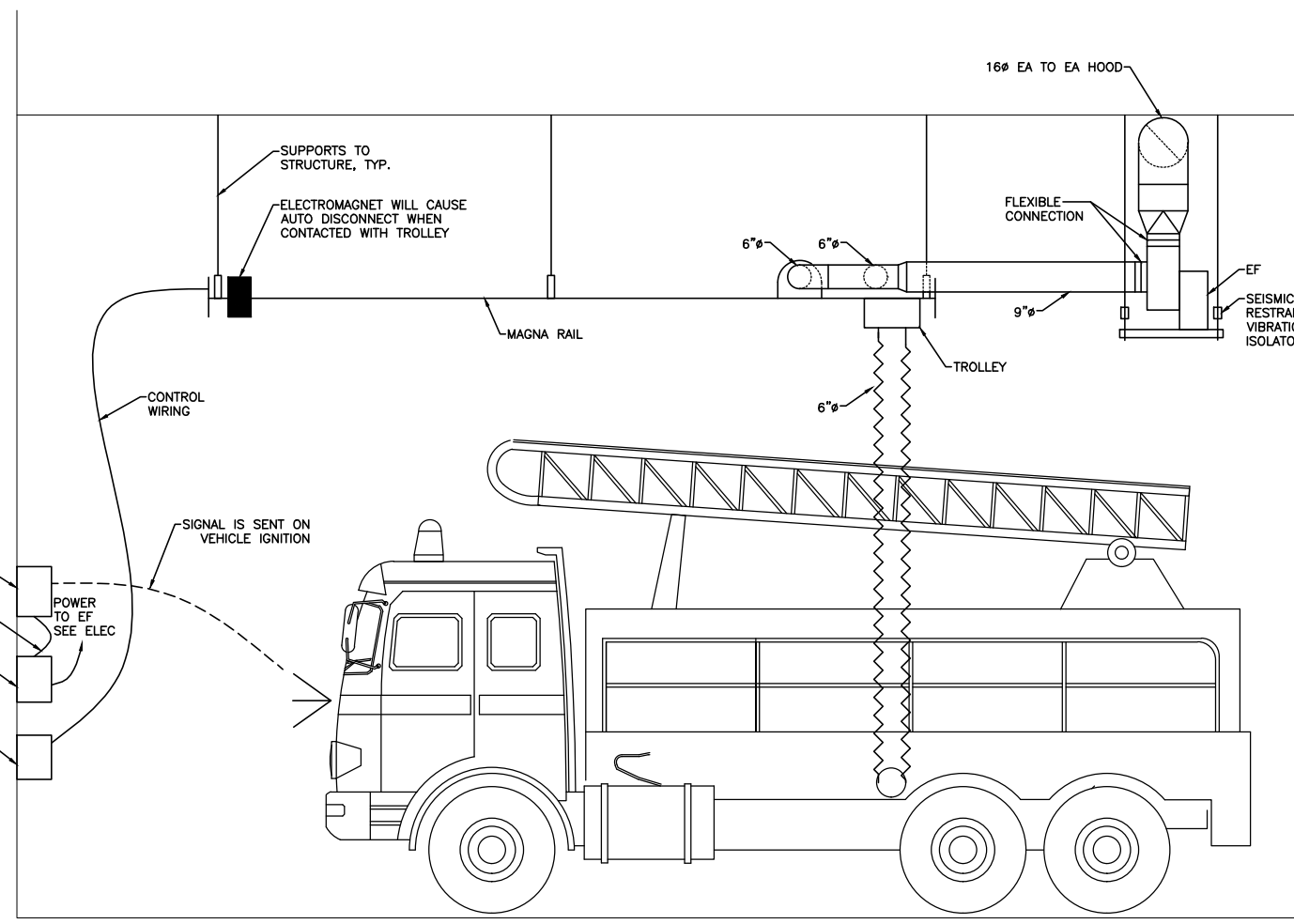
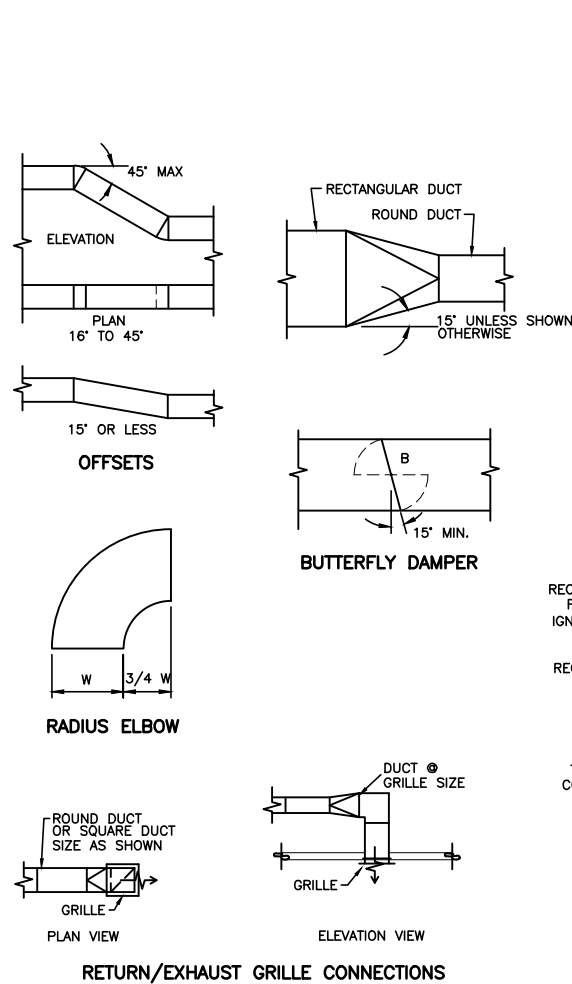
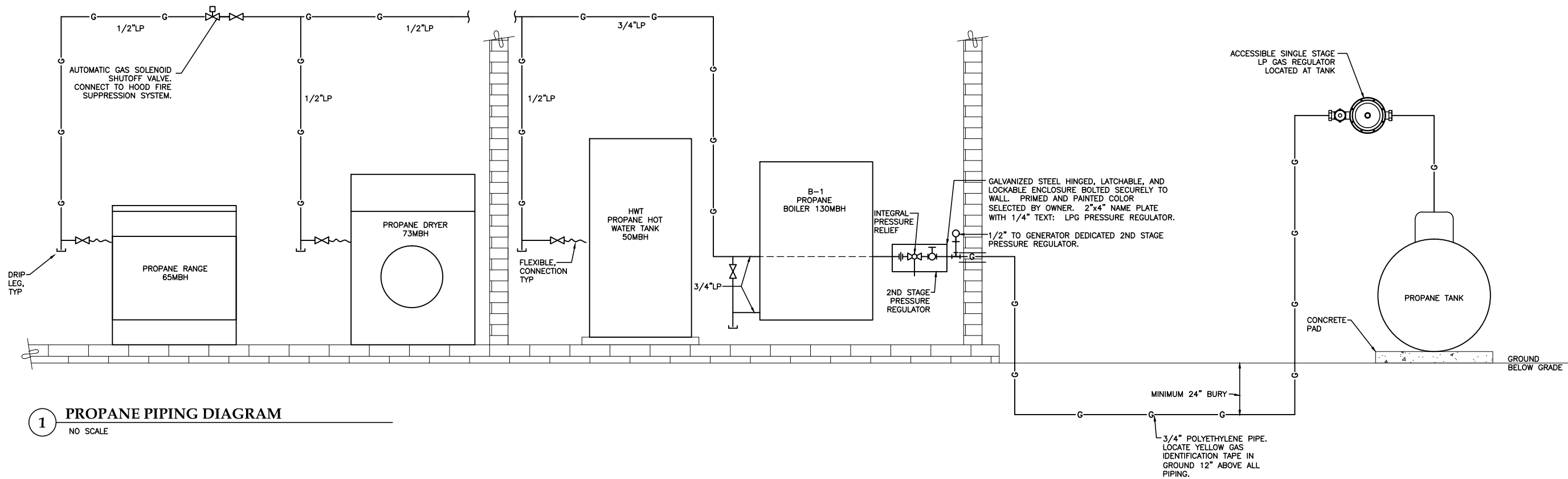
95% REVIEW SET



SHEET TITLE
DETAILS

DATE: MARCH 2014
FILE: 13054

M401



NOTE: GRIND ALL WELDS SMOOTH. PRIME AND PAINT WELDED STEEL HOOD AND FASTENERS EXTERIOR AND INTERIOR SURFACES TWO COATS RUST PREVENTIVE PAINT. PAINT TO MATCH BUILDING EXTERIOR COLOR. COORDINATE WITH ARCHITECTURAL.

Jensen Yorba Lott Inc.
522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbалott.com

MURRAY & ASSOCIATES P.C.
CONSULTING MECHANICAL ENGINEERS
P.O. BOX 21081
JUNEAU, AK 99802
MURRAYPC.COM
TEL: 907-780-6151 FAX: 907-780-6182

City of Craig
FIRE HALL
Craig, Alaska

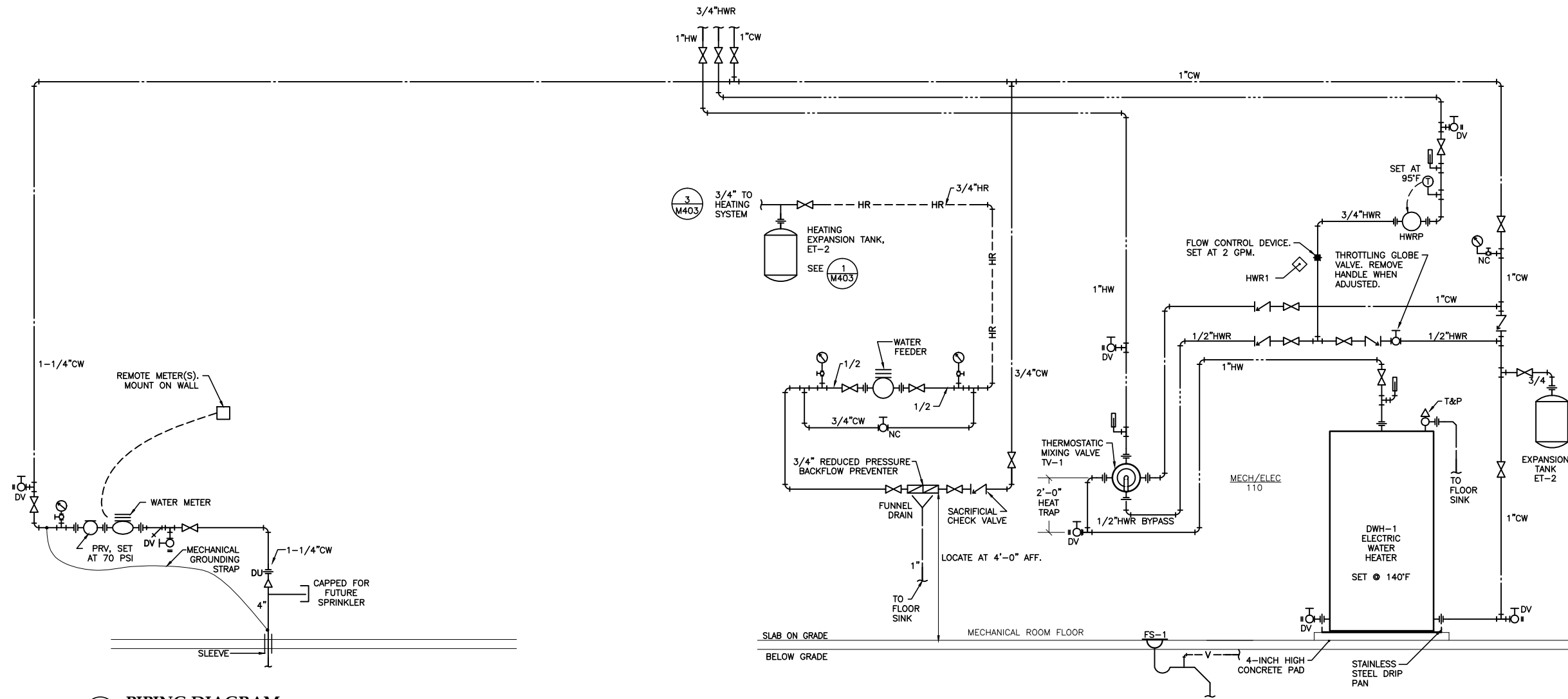
95% REVIEW SET

REVISIONS

SHEET TITLE
DETAILS

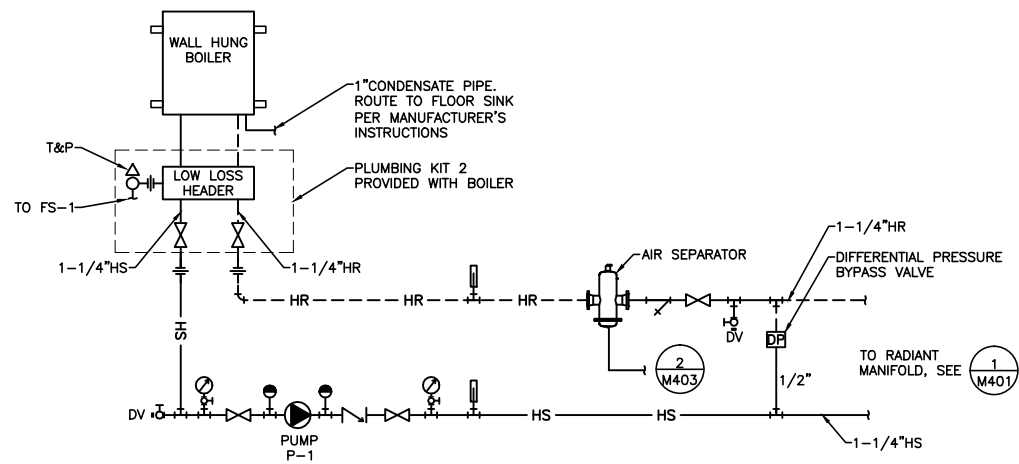
DATE: MARCH 2014
FILE: 13054

M402

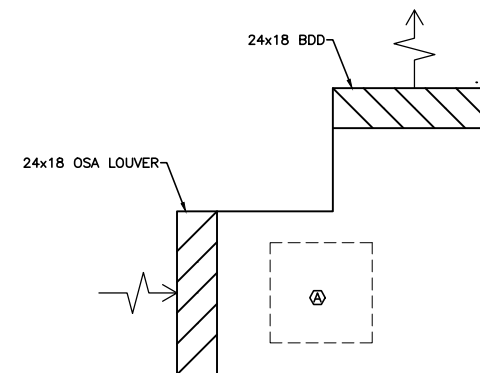


1 PIPING DIAGRAM
NO SCALE

2 PIPING DIAGRAM
NO SCALE

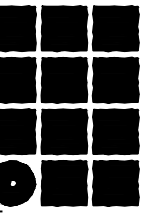


3 PIPING DIAGRAM
NO SCALE



4 RELIEF AIR DAMPER
NO SCALE

| LEGEND AND ABBREVIATIONS | | | | |
|--------------------------|---|--------|--|---|
| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION | ABBREVIATIONS |
| | SURFACE LUMINAIRE | | JUNCTION BOX | A AMPERES |
| | SUSPENDED LUMINAIRE, SIZE AND SHABE VARIES. | | CONDUIT CONCEALED IN CEILING OR WALL | AC ALTERNATING CURRENT |
| | POINT SOURCE CEILING MOUNT | | CONDUIT CONCEALED IN FLOOR OR UNDER SLAB | AF AMPERE (RATED) FUSE |
| | SHADING OF ANY LUMINAIRE INDICATES EGRESS CIRCUIT | | HOT CONDUCTOR | AFF ABOVE FINISHED FLOOR |
| | EXIT SIGN, SHADED QUADRANT INDICATES FACES, ARROWS AS SHOWN | | NEUTRAL CONDUCTOR | AL ALUMINUM |
| | WALL PACK | | GROUND CONDUCTOR | ATS AUTOMATIC TRANSFER SWITCH |
| | SINGLE POLE SWITCH, SUBSCRIPT DENOTES SIMILARLY MARKED LUMINAIRES CONTROLLED TOGETHER. | | ISOLATED GROUND CONDUCTOR | AUX AUXILIARY |
| | DIMMER SWITCH | | HOMERUN TO INDICATED DESTINATION | AWG AMERICAN WIRE GAUGE |
| | CONTROL STATION | | FLEXIBLE CONDUIT CONNECTION | CB CIRCUIT BREAKER |
| | OCCUPANCY SENSOR | | MANUAL PULL STATION | CLG CEILING |
| | DATA OUTLET, NUMBER INDICATES QUANTITY OF JACKS. | | SMOKE DETECTOR | CU COPPER |
| | TELEPHONE OUTLET, NUMBER INDICATES QUANTITY OF JACKS. | | HEAT DETECTOR | DIA DIAMETER |
| | SPEAKER | | COMBINATION HORN/STROBE UNIT | DWG DRAWING |
| | BELL | | STROBE ONLY UNIT | FLEX FLEXIBLE |
| | TELEVISION OUTLET | | FIRE ALARM CONTROL PANEL | GFI GROUND FAULT CIRCUIT INTERRUPTER |
| | SPECIAL PURPOSE RECEPTACLE | | SHEET NOTE REFERENCE | GND GROUND |
| | DOUBLE DUPLEX RECEPTACLE | | KITCHEN EQUIPMENT TAG | HOA HAND OFF AUTO |
| | DUPLEX RECEPTACLE | | MECHANICAL EQUIPMENT TAG | HP HORSEPOWER |
| | HALF SHADING INDICATES RECEPTACLE ABOVE COUNTER OR BACKSPLASH, SEE ARCHITECTURAL DRAWINGS FOR HEIGHT. | | DETAIL REFERENCE | HZ HERTZ |
| | SURFACE RACEWAY WITH DEVICES AS INDICATED. LENGTH AS INDICATED ON THE DRAWINGS | | EXISTING | IG ISOLATED GROUND |
| | BRANCH CIRCUIT PANELBOARD | | FUTURE | KW KILOWATTS |
| | TRANSFORMER | | DEMOLISH | KVA KILOVOLT-AMPERES |
| | MOTOR CONNECTION | | RELOCATE | LTG LIGHTING |
| | DISCONNECT SWITCH | | | LCP LIGHTING CONTROL PANEL |
| | CIRCUIT BREAKER | | | MAX MAXIMUM |
| | METER | | | MIN MINIMUM |
| | GENERATOR | | | MTD MOUNTED |
| | TRANSFER SWITCH | | | N NEUTRAL (GROUNDED CONDUCTOR) |
| | | | | NEC NATIONAL ELECTRICAL CODE |
| | | | | NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION |
| | | | | NTS NOT TO SCALE |
| | | | | OC ON CENTER |
| | | | | PH PHASE |
| | | | | PNL PANELBOARD |
| | | | | SWBD SWITCHBOARD |
| | | | | TYP TYPICAL |
| | | | | UON UNLESS OTHERWISE NOTED |
| | | | | V VOLTS |
| | | | | VA VOLT-AMPERES |
| | | | | W WATT |
| | | | | WP WEATHERPROOF |
| | | | | XFMR TRANSFORMER |



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalott.com

City of Craig
FIRE HALL
Craig, Alaska

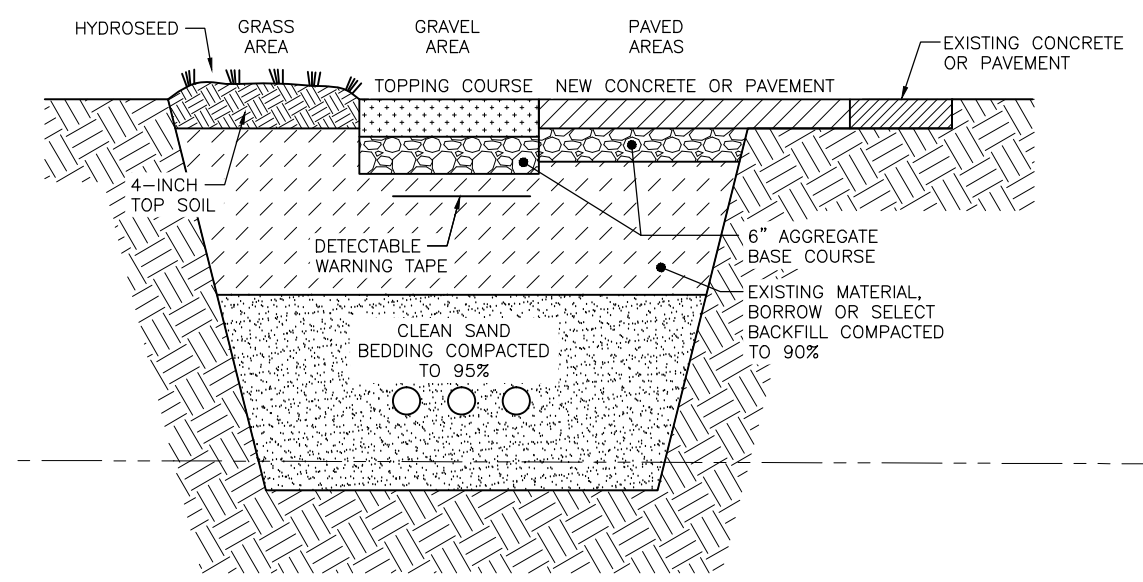
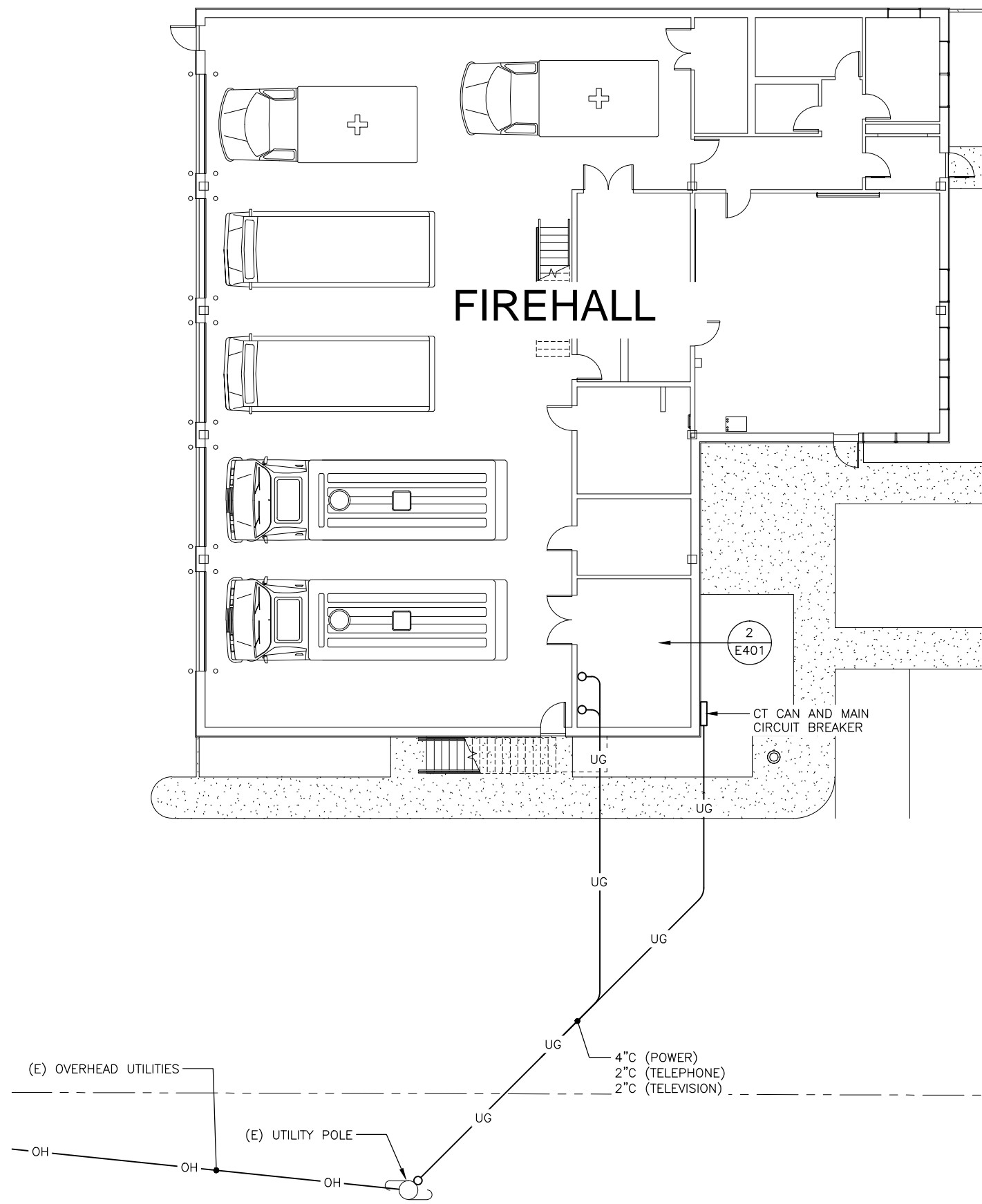
95% REVIEW

REVISIONS
△
△
△

SHEET TITLE
LEGEND AND
ABBREVIATIONS

DATE: MARCH 2014
FILE: 13054

E001



NOTE:
PAVEMENT THICKNESS SHALL BE 3" OR MATCH EXISTING, WHICHEVER IS GREATER. CONCRETE THICKNESS SHALL BE 4" OR MATCH EXISTING, WHICHEVER IS GREATER.

2 ELECTRICAL TRENCH

City of Craig
FIRE HALL
Craig, Alaska

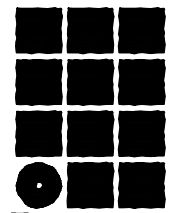
95% REVIEW

REVISIONS
△
△
△

SHEET TITLE
SITE PLAN

DATE: MARCH 2014
FILE: 13054

E101

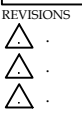


**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbалott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW



SHEET TITLE
**FIRST FLOOR
POWER AND
SIGNAL PLAN**

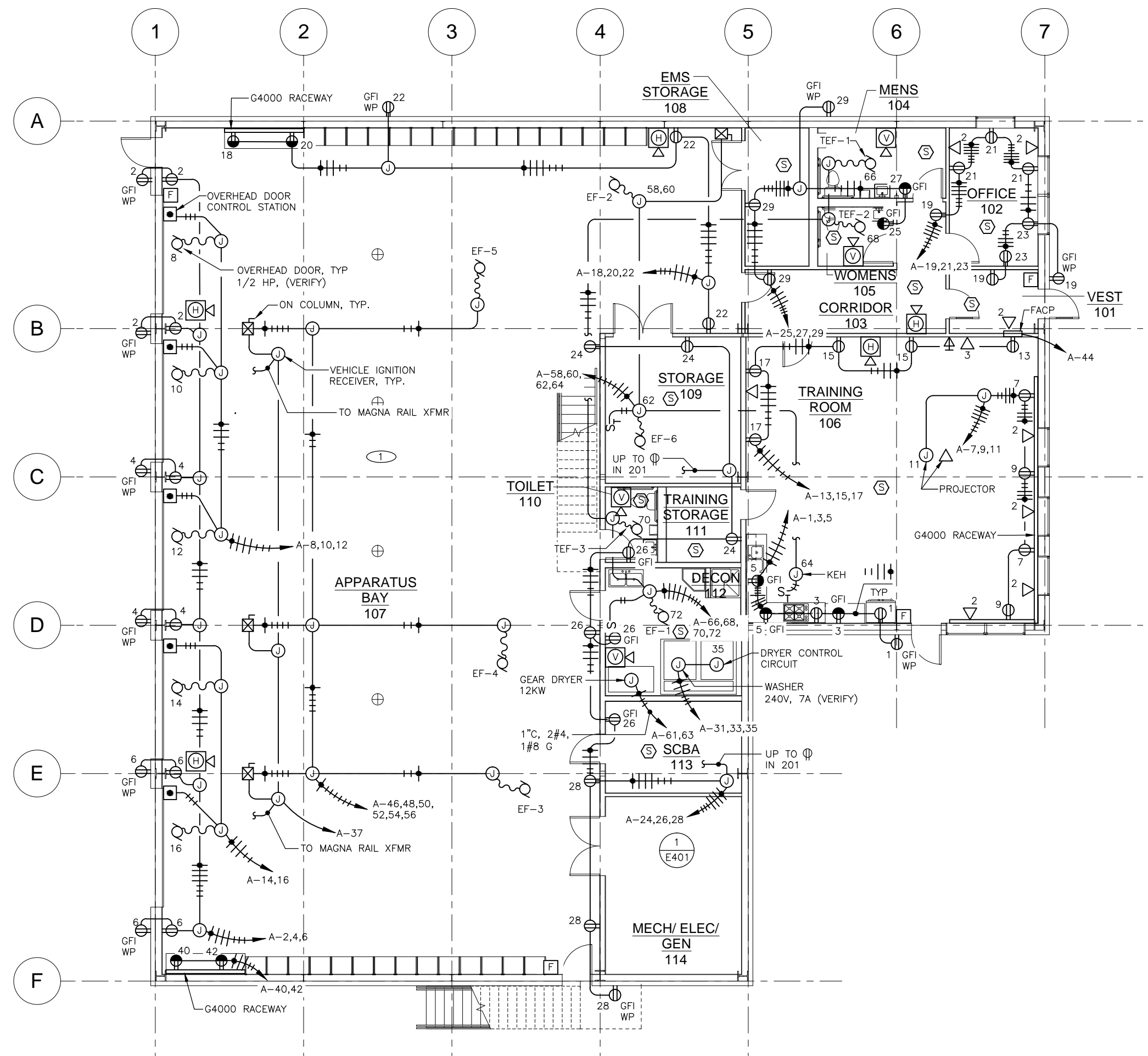
DATE: MARCH 2014
FILE: 13054

E201



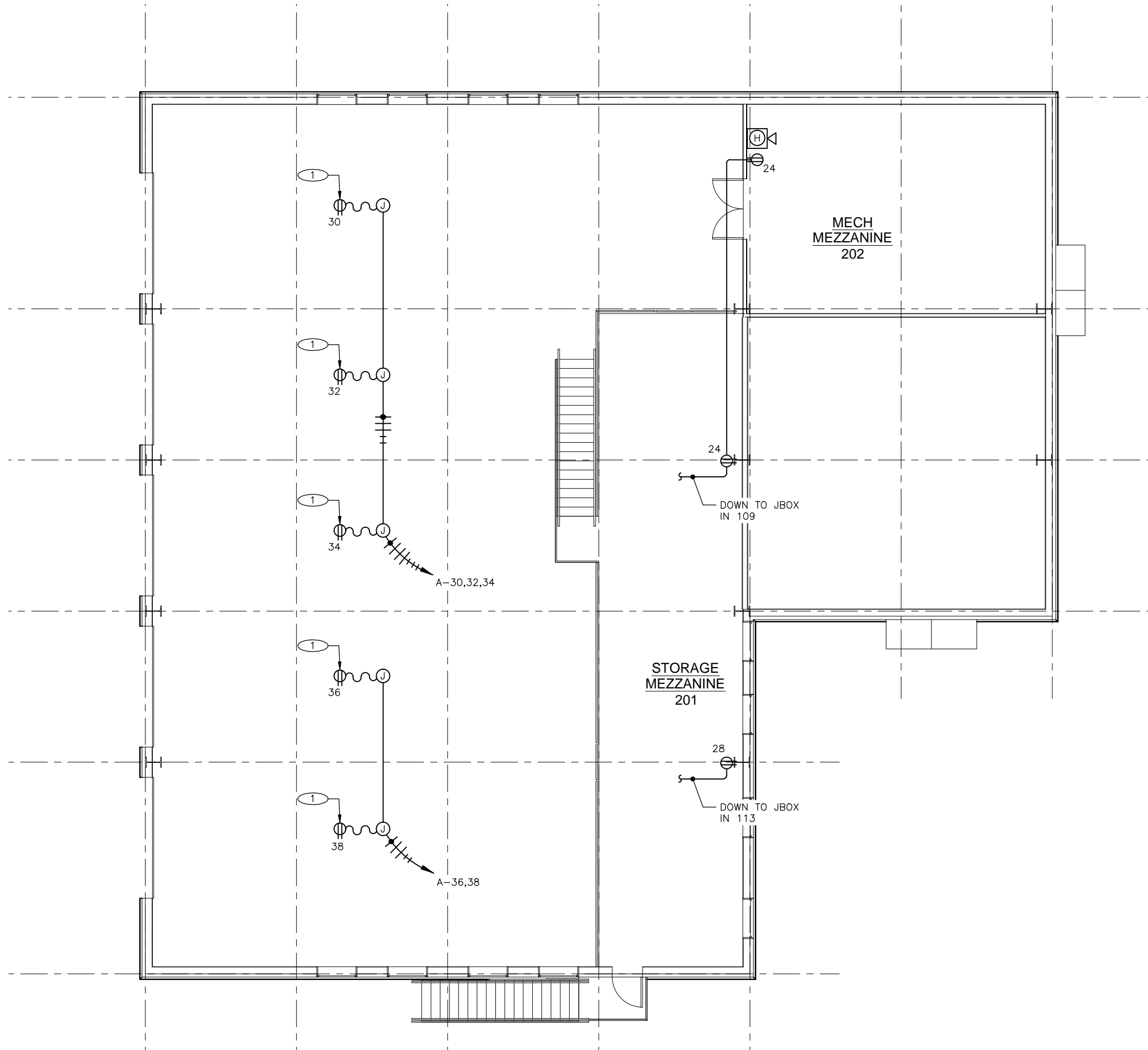
NOTES:

- ① ALL RECEPTACLES IN APPARATUS BAY 107 SHALL BE GFCI. MOUNTED AT 24" ABOVE FINISHED FLOOR, UON.



① **FIRST FLOOR POWER AND SIGNAL PLAN**

SCALE: 0 2' 4' 8'



NOTES:
 ① CABLE REEL: 50- FEET OF 12/3 50W-A, 600V, 20A, HUBBELL HBL501232W, OR APPROVED EQUAL.

Jensen Yorba Lott Inc.
 522 West 10th Street
 Juneau, Alaska 99801
 phone 907-586-1070
 fax 907-586-3959
 jensenyorbaltott.com

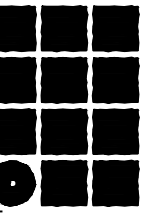
City of Craig
FIRE HALL
 Craig, Alaska

95% REVIEW
 REVISIONS
 △
 △
 △
 SHEET TITLE
**SECOND FLOOR
 POWER AND
 SIGNAL PLAN**
 DATE: MARCH 2014
 FILE: 13054

① **SECOND FLOOR POWER AND SIGNAL PLAN**
 SCALE: 0 2' 4' 8'

EGENYI
 ENGINEERING, LLC
 217 2nd ST, STE 208, JUNEAU, AK 99801
 PH: (907) 586-5900 / FAX: (907) 586-5901

E202



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalo.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW

REVISIONS
△
△
△

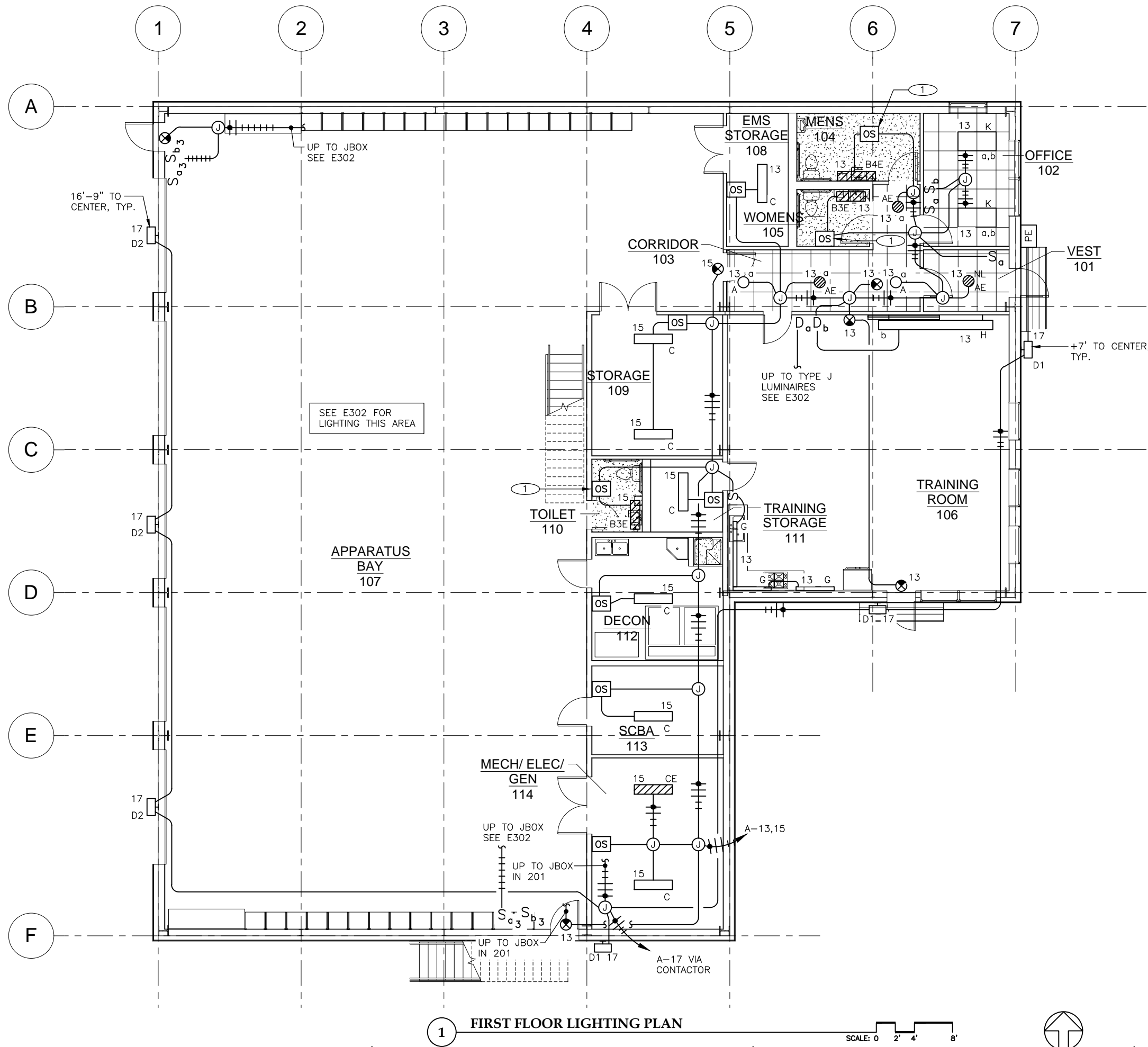
SHEET TITLE
FIRST FLOOR
LIGHTING
PLAN

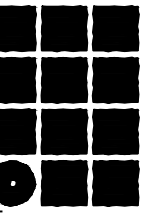
DATE: MARCH 2014
FILE: 13054

E301

NOTES:

① PROVIDE AUXILIARY CONTACTS FOR EXHAUST FAN.



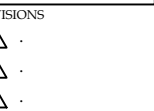


**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbалott.com

City of Craig
FIRE HALL
Craig, Alaska

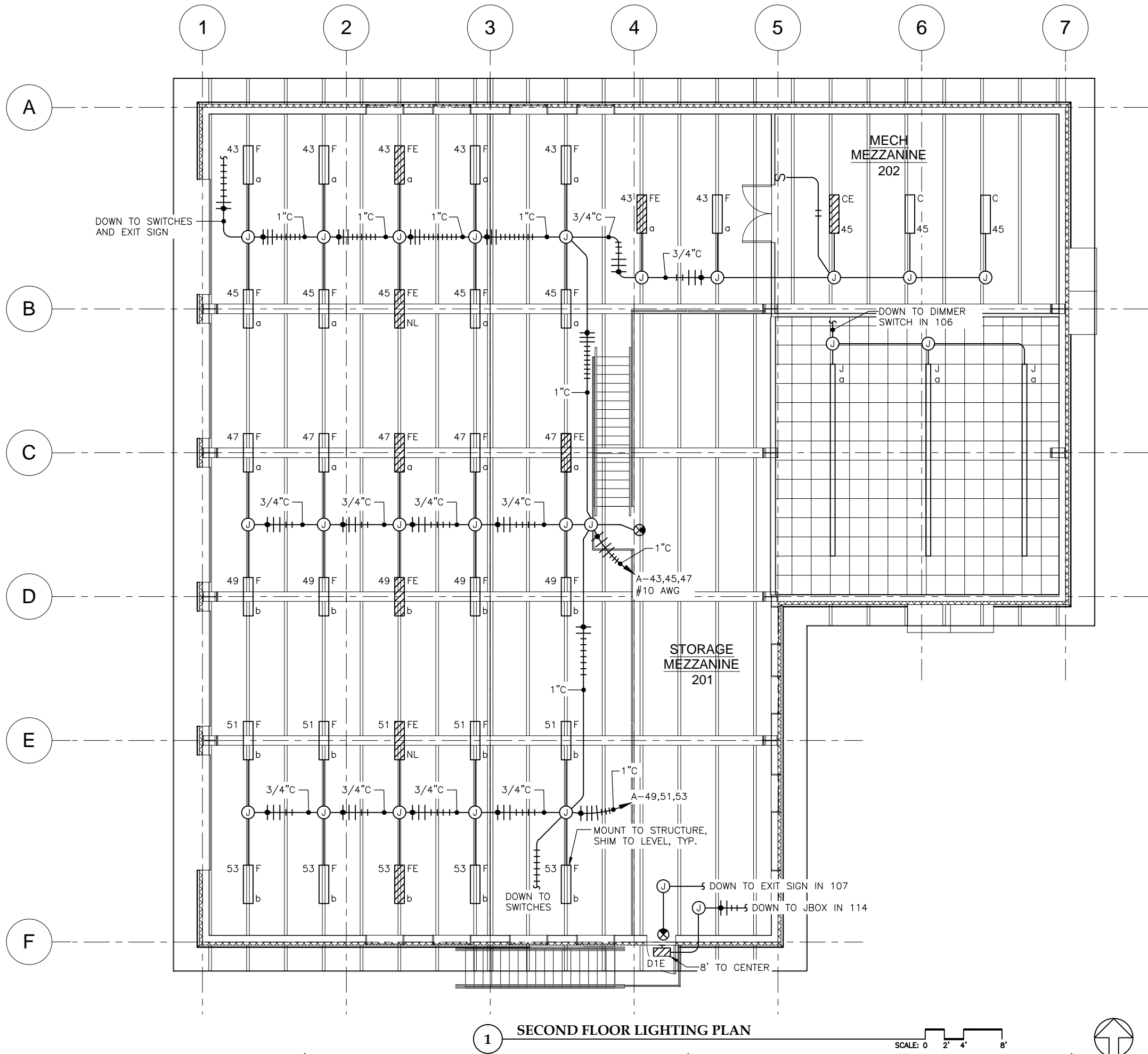
95% REVIEW



SHEET TITLE
SECOND FLOOR
LIGHTING
PLAN

DATE: MARCH 2014
FILE: 13054

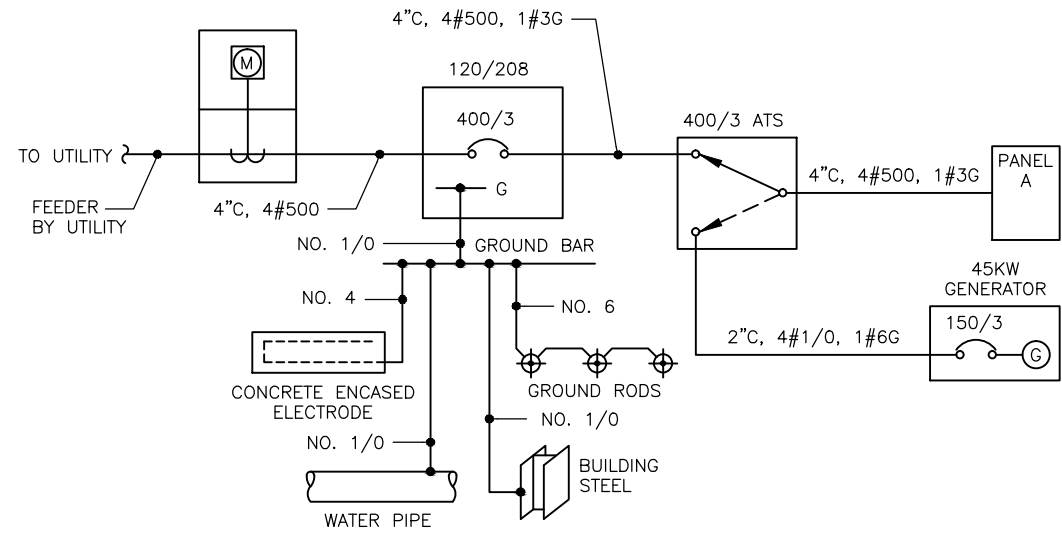
E302



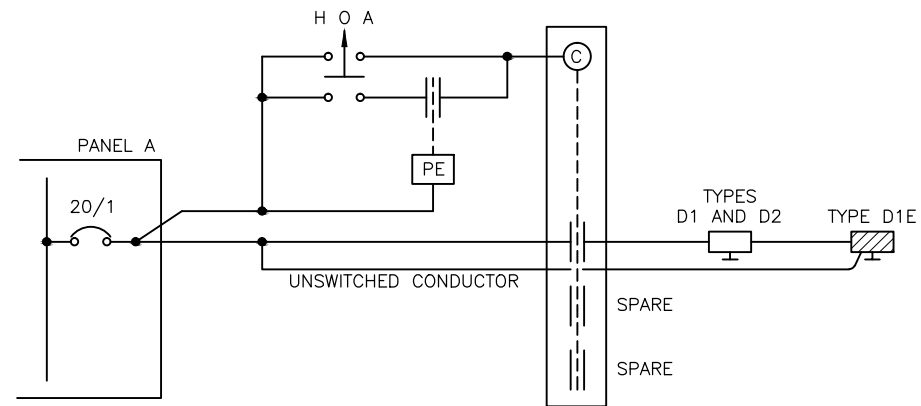
1 SECOND FLOOR LIGHTING PLAN

SCALE: 0 2' 4' 8'

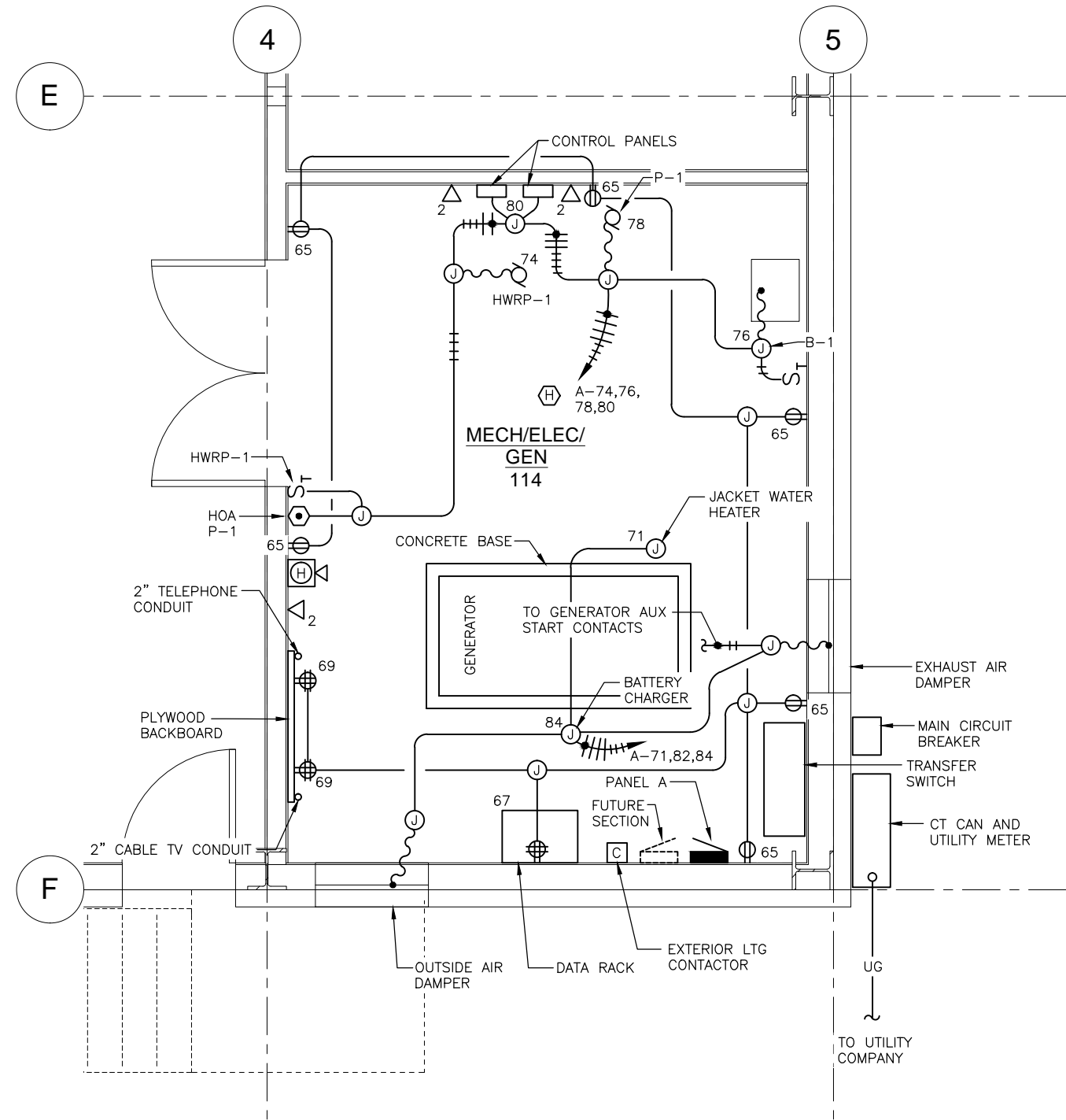




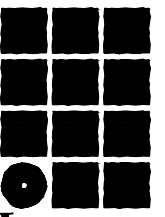
1 SINGLE LINE DIAGRAM



3 EXTERIOR LIGHTING CONTROL DIAGRAM



2 ENLARGED MECH/ELEC 114
SCALE: 0 1' 2' 4'



**Jensen
Yorba
Lott
Inc.**

522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbaltott.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW

REVISIONS

| | |
|---|--|
| △ | |
| △ | |
| △ | |

SHEET TITLE
DETAILS

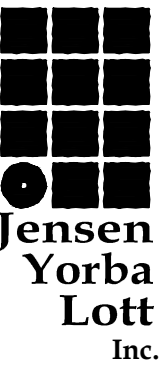
DATE: MARCH 2014
FILE: 13054

E401



| PANEL A | | | | | | | | | | |
|----------|-----------------------------|------|-----|------|----|------|------|-----|---------------------|----------|
| POLE NO. | LOAD SERVED | LOAD | | CB | PH | CB | LOAD | | LOAD SERVED | POLE NO. |
| | | TYPE | KVA | | | | TYPE | KVA | | |
| 1 | EXTERIOR | R | 0.2 | 20/1 | A | 20/1 | R | 0.7 | EXTERIOR, 107 | 2 |
| 3 | 106 | R | 0.4 | 20/1 | B | 20/1 | R | 0.7 | EXTERIOR, 107 | 4 |
| 5 | 106 | R | 0.4 | 20/1 | C | 20/1 | R | 0.7 | EXTERIOR, 107 | 6 |
| 7 | PROJECTOR (106) | C | 1.0 | 20/1 | A | 20/1 | N | 1.2 | OVERHEAD DOOR (107) | 8 |
| 9 | 106 | R | 0.4 | 20/1 | B | 20/1 | N | 1.2 | OVERHEAD DOOR (107) | 10 |
| 11 | 106 | R | 0.4 | 20/1 | C | 20/1 | N | 1.2 | OVERHEAD DOOR (107) | 12 |
| 13 | 106 | R | 0.2 | 20/1 | A | 20/1 | N | 1.2 | OVERHEAD DOOR (107) | 14 |
| 15 | 106 | R | 0.4 | 20/1 | B | 20/1 | N | 1.2 | OVERHEAD DOOR (107) | 16 |
| 17 | 106 | R | 0.4 | 20/1 | C | 20/1 | R | 0.2 | WORKBENCH (107) | 18 |
| 19 | 101, 103, EXTERIOR | R | 0.5 | 20/1 | A | 20/1 | R | 0.2 | WORKBENCH (107) | 20 |
| 21 | 102 | R | 0.5 | 20/1 | B | 20/1 | R | 0.7 | 107 | 22 |
| 23 | 102 | R | 0.4 | 20/1 | C | 20/1 | R | 0.7 | 107, 109, 111, 201 | 24 |
| 25 | 105 | R | 0.2 | 20/1 | A | 20/1 | R | 0.7 | 107, 110, 113 | 26 |
| 27 | 104 | R | 0.2 | 20/1 | B | 20/1 | R | 0.7 | 107, 201, EXTERIOR | 28 |
| 29 | 103, 108, EXTERIOR | R | 0.4 | 20/1 | C | 20/1 | R | 0.2 | 107 | 30 |
| 31 | WASHER (112) | N | 1.0 | 15/2 | A | 20/1 | R | 0.2 | 107 | 32 |
| 33 | ---- | N | 1.0 | -- | B | 20/1 | R | 0.2 | 107 | 34 |
| 35 | DRYER CONTROLS | C | 0.1 | 20/1 | C | 20/1 | R | 0.2 | 107 | 36 |
| 37 | IGNITION RECEIVERS | C | 0.3 | 20/1 | A | 20/1 | R | 0.2 | 107 | 38 |
| 39 | SPARE | | | 20/1 | B | 20/1 | R | 0.2 | 107 | 40 |
| 41 | SPARE | | | 20/1 | C | 20/1 | R | 0.2 | 107 | 42 |
| 43 | 107 | L | 1.0 | 20/1 | A | 20/1 | C | 1.0 | FACP | 44 |
| 45 | 107, 202 | L | 0.9 | 20/1 | B | 25/2 | M | 2.0 | EF-3 | 46 |
| 47 | 107 | L | 0.8 | 20/1 | C | -- | M | 2.0 | ---- | 48 |
| 49 | 107 | L | 0.8 | 20/1 | A | 25/2 | M | 2.0 | EF-4 | 50 |
| 51 | 107 | L | 0.8 | 20/1 | B | -- | M | 2.0 | ---- | 52 |
| 53 | 107 | L | 0.8 | 20/1 | C | 25/2 | M | 2.0 | EF-5 | 54 |
| 55 | 101,102,103,104,105,106,108 | L | 0.9 | 20/1 | A | -- | M | 2.0 | ---- | 56 |
| 57 | 109,110,111,112,113,114 | L | 0.5 | 20/1 | B | 20/2 | M | 0.7 | EF-2 | 58 |
| 59 | EXTERIOR | L | 0.1 | 20/1 | C | -- | M | 0.7 | ---- | 60 |
| 61 | GEAR DRYER (112) | C | 6.0 | 70/2 | A | 20/1 | M | 0.7 | EF-6 | 62 |
| 63 | ---- | C | 6.0 | -- | B | 20/1 | M | 0.7 | KEH | 64 |
| 65 | 114 | R | 1.1 | 20/1 | C | 20/1 | M | 0.7 | TEF-1 | 66 |
| 67 | 114 | R | 0.4 | 20/1 | A | 20/1 | M | 0.7 | TEF-2 | 68 |
| 69 | 114 | R | 0.7 | 20/1 | B | 20/1 | M | 0.7 | TEF-3 | 70 |
| 71 | COOLANT HEATER | C | 1.8 | 20/1 | C | 20/1 | M | 0.7 | EF-1 | 72 |
| 73 | SPARE | | | 20/1 | A | 20/1 | M | 0.2 | HWRP-1 | 74 |
| 75 | SPARE | | | 20/1 | B | 20/1 | C | 0.2 | B-1 | 76 |
| 77 | SPARE | | | 20/1 | C | 20/1 | M | 0.7 | P-1 | 78 |
| 79 | SPARE | | | 20/1 | A | 20/1 | C | 1.0 | CONTROL PANELS | 80 |
| 81 | SPARE | | | 20/1 | B | 20/1 | N | 0.2 | DAMPER ACTUATORS | 82 |
| 83 | SPARE | | | 20/1 | C | 20/1 | C | 0.5 | BATTERY CHARGER | 84 |

| | | | | | | |
|--|---------------------|-----------------------------|----------------------|------------------------|------|------------------------------------|
| VOLTAGE: 120/208V, 3P, 4W AIC RATING: 10,000 MOUNTING: SURFACE MAIN: 400/3 BUS: 400A | LOAD SUMMARY | CONNECTED LOAD (KVA) | DEMAND FACTOR | DEMAND KVA AMPS | | NOTES: 1. PROVIDE SUB-FEED LUGS |
| | (L) LIGHTING | 6.6 | 100% OF LOAD | 6.6 | 18.3 | |
| | (R) RECEPTACLE | 14.4 | NEC 220-13 | 12.2 | 33.9 | |
| | (M) MOTOR | 18.5 | NEC 430-24 | 19.5 | 54.1 | |
| | (C) CONTINUOUS | 17.4 | 125% OF LOAD | 21.8 | 60.5 | |
| | (N) NON-CONTINUOUS | 8.2 | 100% OF LOAD | 8.2 | 22.8 | |
| | (K) KITCHEN | . | NEC 220-20 | . | . | |
| | TOTAL | . | | 68 | 190 | |
| | WITH 25% SPARE | . | | . | . | |



522 West 10th Street
Juneau, Alaska 99801
phone 907-586-1070
fax 907-586-3959
jensenyorbalo.com

City of Craig
FIRE HALL
Craig, Alaska

95% REVIEW

REVISIONS
 △
 △
 △

SHEET TITLE
 SCHEDULES

DATE: MARCH 2014
 FILE: 13054

E501



217 2nd ST, STE 208, JUNEAU, AK 99801
 PH: (907) 586-5900 / FAX: (907) 586-5901

LUMINAIRE SCHEDULE

| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | LAMP | | VOLTAGE | TOTAL VA | MOUNTING | NOTES |
|------|--|-------------------------------|---|------|---------|---------|----------|-----------------------------|-------|
| | | | | QTY. | TYPE | | | | |
| A | 4-INCH DOWNLIGHT | INTENSE LIGHTING | SS4G2 1100 358 | -- | LED | 120 | 16 | RECESSED | |
| AE | SAME AS TYPE A WITH EMERGENCY BATTERY | INTENSE LIGHTING | SS4G2 1100 358 EM | -- | LED | 120 | 16 | RECESSED | |
| B3 | 3-FOOT WALL BRACKET | METALUX | BI 225 HTS UNV EB8 | 2 | F25T8 | 120 | 0 | SURFACE WALL | |
| B4 | 4-FOOT WALL BRACKET | METALUX | BI 232 HTS UNV EB8 | 2 | F32T8 | 120 | 60 | WALL | |
| C | 4-FOOT INDUSTRIAL WITH WIREGUARD | METALUX | DMF 232 UNV EB8 WG/DIF4FT-U | 2 | F32T8 | 120 | 90 | SURFACE | |
| CE | SAME AS TYPE C WITH EMERGENCY BATTERY | METALUX | DMF 232 UNV EL EB8 WG/DIF4FT-U | 2 | F32T8 | 120 | 90 | SURFACE | |
| D1 | WALL PACK | LUMARK | XTOR1A | -- | LED | 120 | 10 | WALL | |
| D1E | SAME AS TYPE D1 WITH EMERGENCY BATTERY | LUMARK | XTOR1A | -- | LED | 120 | 10 | WALL WITH REMOTE EM BATTERY | |
| D2 | WALL PACK | LUMARK | XTOR2A | -- | LED | 120 | 20 | WALL | |
| F | 4-FOOT INDUSTRIAL | METALUX | VT3 354T5DR UNV EB8 | 2 | F54T5HO | 120 | 0 | SURFACE | |
| FE | SAME AS TYPE F WITH EMERGENCY BATTERY | METALUX | VT3 354T5DR UNV EL EB8 | 2 | F54T5HA | 120 | 0 | SURFACE | |
| G | CONTINUOUS UNDERCABINET STRIP | CALIFORNIA ACCENT LIGHTING | ALS50T-SF NA LED-4.0K 8W HO DRY/DAMP 120 | -- | LED | 120 | 0 | SURFACE | |
| H | LINEAR FLUORESCENT | LEDALITE | 1228 T10 Q P 12 7 120 | 1 | F32T8 | 120 | 60 | SUSPENDED | |
| J | LINEAR FLUORESCENT | LEDALITE | 1201 T20 Q P 20 7 120 | 2 | F32T8 | 120 | 60 | WALL | |
| K | 2X4 TROFFER | METALUX | 2GC8 232 A125 UNV EB8 | 2 | F32T8 | 120 | 60 | RECESSED | |
| ⊗ | EXIT SIGN | SURE-LITES | SLX 7 SD G | -- | LED | 120 | 2 | | |

MECHANICAL EQUIPMENT SCHEDULE

| TAG | DESCRIPTION | HP | KW | AMPS | VOLTAGE | PHASE | TOTAL VA | FEEDER | DISCONNECT | | STARTER SIZE | REMARKS |
|--------|---------------|------|-----|------|---------|-------|----------|--------------------|------------|------|--------------|---------|
| | | | | | | | | | SWITCH | FUSE | | |
| TEF-1 | EXHAUST FAN | 1/4 | | | 120 | 1 | 0.7 | 1/2"C, 2#12, 1#12G | S_T | | | |
| TEF-2 | EXHAUST FAN | 1/4 | | | 120 | 1 | 0.7 | 1/2"C, 2#12, 1#12G | S_T | | | |
| TEF-3 | EXHAUST FAN | 1/4 | | | 120 | 1 | 0.7 | 1/2"C, 2#12, 1#12G | S_T | | | |
| EF-1 | EXHAUST FAN | 1/4 | | | 120 | 1 | 0.7 | 1/2"C, 2#12, 1#12G | S_T | | | ON-OFF |
| EF-2 | EXHAUST FAN | 3/4 | | | 208 | 1 | 1.6 | 1/2"C, 2#12, 1#12G | 30/2 | | | ON-OFF |
| EF-3 | EXHAUST FAN | 3 | | | 208 | 1 | 3.9 | 3/4"C, 2#10, 1#10G | 30/2 | | 0 | H-O-A |
| EF-4 | EXHAUST FAN | 3 | | | 208 | 1 | 3.9 | 3/4"C, 2#10, 1#10G | 30/2 | | 0 | H-O-A |
| EF-5 | EXHAUST FAN | 3 | | | 208 | 1 | 3.9 | 3/4"C, 2#10, 1#10G | 30/2 | | 0 | H-O-A |
| KEH | EXHAUST FAN | 1/4 | | | 120 | 1 | 0.7 | 1/2"C, 2#12, 1#12G | S_T | | | |
| B-1 | BOILER BURNER | | 0.2 | | 120 | 1 | 0.2 | 1/2"C, 2#12, 1#12G | S_T | | | ON-OFF |
| P-1 | PUMP | 1/4 | | | 120 | 1 | 0.7 | 1/2"C, 2#12, 1#12G | S_T | | | H-O-A |
| HWRP-1 | PUMP | 1/40 | | | 120 | 1 | 0.1 | 1/2"C, 2#12, 1#12G | S_T | | | ON-OFF |

95% REVIEW

REVISIONS
 △
 △
 △

SHEET TITLE
 SCHEDULES

DATE: MARCH 2014
 FILE: 13054

CITY OF CRAIG MEMORANDUM

To: Craig Mayor and City Council
From: Brian Templin, City Planner
Date: April 8, 2014
RE: Craig Pool Inspection, Engineering and Design Services – Award of Contract

The Craig Aquatic Center was built in 1995 and has been in operation since its construction. The pool building, roof and systems all require inspection and some repairs. The city has also long considered an addition to the pool building to increase the fitness area and potentially add other facilities.

In 2013 the city received a \$114,000 legislative grant to perform repairs, inspection, engineering/design on improvements and an expansion to the facility. A request for proposals was published starting February 20, 2014 with proposals due to the city no later than March 25, 2014. A site visit was scheduled at the pool on March 12th. Jensen Yorba Lott of Juneau attended the site visit/pre-submittal meeting. The RFP scope of work requested the following services:

1. Inspect the current building, heating, plumbing, pool basins and other systems/structures to determine if repairs or upgrades need to be made.
2. Make recommendations on upgrades or replacements and provide design services and cost estimates.
3. Provide design services, construction specifications and cost estimate for an addition to the building.

One proposal was received by the deadline from JYL. Staff met with JYL and a number of the potential subcontractors on April 8th to discuss their proposal.

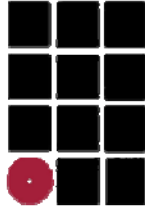
After refining the scope of work required for the project JYL proposes to complete the condition assessment and make recommendations in a condition assessment report. JYL proposes to complete the work for a lump sum of \$40,000 plus travel costs (which they estimate at \$8,000).

This condition assessment, recommendations and cost estimate are crucial to moving forward with funding for the improvements through a bond or other funding mechanism.

JYL's proposal is complete and JYL's team has the required expertise to complete the work. Staff will come back to the council to discuss design services by JYL when the condition assessment is complete.

Recommendation: Award a contract to Jensen Yorba Lott Inc. not to exceed \$48,000 to complete a condition assessment of the Craig Aquatic Center using legislative grant funding for this purpose.

**Jensen
Yorba
Lott
Inc**



Architecture

Interiors

April 8, 2014

**Construction
Management**

Brian Templin, City Planner
City of Craig
PO Box 725
Craig, AK 99921

1935

Founded as
H.B. Foss Company

RE: Craig Aquatic Center-Condition Survey

1945

Foss & Malcolm

Dear Brian:

1949

Foss, Malcolm &
Olsen

Thank you, Nicole and Otis for the time to discuss the Aquatic Center project today and for the valuable information that will help us conduct the condition survey. The Survey will give the City our evaluation of the building components and systems that can be used in developing a plan to address problems and upgrade systems.

1956

Foss, Olsen & Sands

1958

Olsen & Sands

As discussed at the meeting we propose to conduct the structural and architectural envelope investigation first followed by the mechanical, electrical and pool systems investigation. We will then conduct one additional investigation during the pool shut-down in June to inspect the pool tank while the water is drained. We will postpone the site survey, geotechnical investigation and life-cycle cost analysis originally proposed to a later phase after more information is obtained in the initial surveys.

1969

Sands & Ackley

1974

Ackley &
Associates, Inc.

The revised fee for the condition survey is a lump sum of \$40,000 with an additional \$8,000 for travel expenses. The expenses will be invoiced up to the \$8,000 based on the actual costs incurred. We will attempt to combine costs with other projects to reduce the travel costs if possible.

1979

Ackley/Jensen
Architects, Inc.

1985

Jensen Douglas
Architects, Inc.

We look forward to working with the City on this project and will be prepared to start soon after approval by the Council.

1997

Jensen Yorba Lott,
Inc.

Sincerely,

Wayne Jensen

522 West 10th Street
Juneau, AK 99801
Tel: 907.586.1070
Fax: 907.586.3959

www.jensenyorbalott.com